

# AGENDA

HISTORIC PRESERVATION ADVISORY BOARD MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
JUNE 19, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Historic Preservation Advisory Board (HPAB) on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Historic Preservation Advisory Board (HPAB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of Minutes for the February 20, 2025 Historic Preservation Advisory (HPAB) meeting.

(2) Approval of Minutes for the March 20, 2025 Historic Preservation Advisory (HPAB) meeting.

(IV) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Historic Preservation Advisory Board (HPAB) (i.e. the yellow forms available at the podium or from staff). The Historic Preservation Advisory Board Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(3) **H2025-012 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Ashley Egan and Justine Jones for the approval of a Certificate of Appropriateness (COA) for Exterior Alterations of a Landmark Property being a 0.3900-acre parcel of land identified as Lot A, Block 117, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 109 St. Mary's Street, and take any action necessary.

(4) **H2025-013 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture and Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a Certificate of Appropriateness (COA) for [1] the demolition of two (2) *Medium Contributing Structures*, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) *Medium-Contributing Properties*, one (1) *Low Contributing Property*, and two (2) *Non-Contributing Properties* being a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.

(V) DISCUSSION ITEMS

*These items are for discussion between staff and the Historic Preservation Advisory Board (HPAB) and relate to administrative information and/or cases that will come forward for action or public hearing at a future Historic Preservation Advisory Board meeting. Public comment on these cases can take place when these items are considered for action by the Historic Preservation Advisory Board.*

(5) Update from Historic Preservation Officer (HPO) regarding historic projects. **(RYAN MILLER)**

(VI) ADJOURNMENT

The City of Historic Preservation Advisory Board (HPAB) reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on June 13, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

HISTORIC PRESERVATION ADVISORY BOARD MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
FEBRUARY 20, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2  
3 I. CALL TO ORDER  
4

5 Chairman Tiffany Miller brought the meeting to order at 6:00PM. Board members present were Haydon Frasier, Allison McNeely Steve Gaskin, Ben  
6 Lewis, Sarah Freed and Fran Webb. Staff members present were Director of Planning and Zoning Ryan Miler, Senior Planner Henry Lee, Planner  
7 Bethany Ross, Planning Technician Angelica Guevara and Planning Coordinator Melanie Zavala.  
8

9 II. OPEN FORUM  
10

11 *This is a time for anyone to address the Historic Preservation Advisory Board (HPAB) on any topic that is not already listed on the agenda for a public hearing.*  
12 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during*  
13 *the OPEN FORUM, please know that the Historic Preservation Advisory Board (HPAB) is not permitted to respond to your comments during the meeting per*  
14 *the Texas Open Meetings Act.*

15  
16 **Chairman Miller explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time, there being no**  
17 **one indicating such Chairman Miller closed the open forum.**  
18

19 III. CONSENT AGENDA  
20

21 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code*  
22 *(UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
23

24 1. Approval of Minutes for the November 21, 2024 Historic Preservation Advisory (HPAB) meeting.  
25

26 **Board Member Freed made a motion to approve the Consent Agenda. Board Member Frasier seconded the motion which passed by a vote of 7-0.**  
27

28 IV. PUBLIC HEARING ITEMS  
29

30 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
31 *submit a Request to Address the Historic Preservation Advisory Board (HPAB) (i.e. the yellow forms available at the podium or from staff). The Historic*  
32 *Preservation Advisory Board Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please*  
33 *limit all comments to three (3) minutes out of respect for the time of other citizens.*  
34

35 **2. H2025-002 (HENRY LEE)**

36 Hold a public hearing to discuss and consider a request by Rex Latham on behalf of Mark Latham for the approval of a Certificate of Appropriateness (COA)  
37 for a Fence for a Medium Contributing Property being a 0.17-acre tract of land identified as being a portion of Lots 1, 2, & 3, Block H, Epstein Addition, City  
38 of Rockwall, Rockwall County, Texas, situated within the Old Town Rockwall (OTR) Historic District, zoned Multi-Family 14 (MF-14) District, addressed as  
39 310 S. Fannin Street, and take any action necessary.  
40

41 **Senior Planner Henry Lee provided a summary regarding the applicant's request. The applicant is requesting to add a six-foot cedar fence along**  
42 **the South property line. It will essentially continue from the southwest corner up until the front facade of the home it will not continue past the**  
43 **front facade towards the roadway. The applicant has indicated this fence is there to provide screening from the city parking lot. When reviewing**  
44 **this the board is determining looking at the architectural compatibility in terms of the height materials color and texture design with the style and**  
45 **period of the home. As well as determining whether it adversely affects the character of the site. The proposed scope of work doesn't appear to**  
46 **affect the historical integrity, or the adjacent properties given that all the all the adjacent properties around it all have those cedar fences and the**  
47 **applicant indicated there was a wood fence there previously in 2012. Staff mailed out notices to 25 property owners within 200 feet of the subject**  
48 **property. At this time, staff has not received any notices in return.**  
49

50 **Rex Latham**  
51 **310 S. Fannin Street**  
52 **Rockwall, TX 75087**  
53

54 **Mr. Latham came forward and provided additional details regarding his request.**  
55

56 **Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating**  
57 **such, Chairman Miller closed the public hearing and brought the item back for discussion or action.**  
58

59 **Board member Freed made a motion to approve H2025-002 six-foot fence. Board Member Gaskin seconded the motion which passed by a vote of**  
60 **7-0.**  
61

62 **3. H2025-003 (BETHANY ROSS)**

63 Hold a public hearing to discuss and consider a request by Kelli Walker for the approval of a Certificate of Appropriateness (COA) for an Addition to a Low  
64 Contributing Property being a 0.25-acre tract of land identified as Block 120E of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas,

65 situated within the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 603 E. Rusk Street, and take any action  
66 necessary.  
67

68 **Planner Bethany Ross** Provided a summary regarding the applicant's request. The applicant is seeking approval for a 700 square foot expansion  
69 of the existing single-family home and to add a 120 square foot tuff shed. In this case the applicant's addition to the existing home does meet the  
70 building standards of the historic guidelines. However, with the addition of the air-conditioned space of 701 square feet or 75% of the current  
71 historic home the new addition will decrease the contributing status of the property. In addition, the scope of work does not appear to be for  
72 purpose of restoration of the existing home due to its current low contributing status staff has added a condition of approval that the Historic  
73 preservation Advisory Board remove the contributing status and designate this property as non-contributing. The proposed addition of 701  
74 square feet to the low contributing home does not appear to appear to impair the historical integrity of the subject property. However, it does not  
75 seem to negatively it also does not seem to negatively impact the adjacent properties. According to the accessory structure standards of the UDC  
76 the single family 7 (SF-7) district allows a total of 2 accessory buildings each being 144 square foot in size. The property has an existing  
77 accessory building of 80 square feet. In this case the section of the code goes on to state that the accessory structure is still not to exceed 15 feet  
78 in height the proposed tuff shed building meets all the requirements of the accessory structure as stipulated in the accessory structure  
79 standards.  
80

81 **Kelli Walker**  
82 **603 E. Rusk Street**  
83 **Rockwall, TX 75087**  
84

85 **Mrs. Walker** came forward and provided additional details regarding her request.  
86

87 **Director of Planning and Zoning Ryan Miller** that the Certificate of Appropriateness (COA) covers both the 700 square foot addition to the house  
88 and then also the storage shed in the rear yard.  
89

90 **Board Member Frasier** asked if the current storage shed meets all requirements and setbacks.  
91

92 **Director of Planning and Zoning Ryan Miller** explained that the storage shed used to be running north, south and it was moved, and it was moved  
93 to run east and west. It is a portable storage shed but we classify because it's on skid it's not on a permanent foundation, but it is greater than  
94 120 square feet so it's legally nonconforming in that in that sense. Portable storage sheds are only allowed to be 120 square feet from that  
95 standpoint it it's legally non-conforming and doesn't cause any issues.  
96

97 **Director of Planning and Zoning Ryan Miller** asked if there were any questions regarding changing the status if the board had any questions.  
98

99 **Board Member Webb** asked how often they evaluate the Historic District.  
100

101 **Director of Planning and Zoning Ryan Miller** explained it usually is about every 10 years.  
102

103 **Chairman Miller** opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
104 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
105

106 **Board Member McNeely** made a motion to approve H2025-003 the addition as it states and the tuff shed. **Board Member Lewis** seconded the  
107 motion which passed by a vote of 6-1. With Chairman Miller dissenting. **Board member McNeely** made a motion to approve H2025-003  
108 reclassification to a non-contributing property. **Board Member Gaskin** seconded which passed by a vote of 6-1 with **Board member Webb**  
109 dissenting.  
110

#### 111 4. H2025-004 (BETHANY ROSS)

112 Hold a public hearing to discuss and consider a request by Kelli Walker for the approval of a Small Matching Grant for an Addition to a Low Contributing  
113 Property being a 0.25-acre tract of land identified as Block 120E of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, situated within the  
114 Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 603 E. Rusk Street, and take any action necessary.  
115

116 **Planner Bethany Ross** explained that the applicant is requesting a small matching grant. The total evaluation of the project provided by the  
117 applicant is \$110,000 dollars. This would make the project eligible for a small matching grant up to 500 since there was a motion to change the  
118 contributing property status to non-contributing. However, approval of this request is a discretionary decision.  
119

120 **Chairman Miller** opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
121 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
122

123 **Board Member Frasier** made a motion to approve H2025-004 for a small matching grant of \$500. **Board Member Freed** seconded the motion which  
124 passed by a vote of 5-2 with **Board Member Gaskin** and **Chairman Miller** dissenting.  
125

#### 126 5. H2025-005 (BETHANY ROSS)

127 Hold a public hearing to discuss and consider a request by Kelli Walker for the approval of a Building Permit Fee Waiver for an Addition to a Low  
128 Contributing Property being a 0.25-acre tract of land identified as Block 120E of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas,  
129 situated within the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 603 E. Rusk Street, and take any action  
130 necessary.  
131

132 **Planner Bethany Ross** provided a summary regarding the applicant's request. The applicant is also requesting a building permit fee waiver with  
133 for the renovations mentioned in the previous cases. Since the property is a non-contributing status, the applicant will be eligible for a maximum



134 of \$168.24. Staff should note that the project does not appear to be for the purpose of rehabilitation or restoration purposes and does not appear  
135 to meet the intent of the program. However, requests for building permit fee waivers are discretionary decisions.  
136

137 Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
138 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
139

140 Chairman Miller made a motion to deny H2024-005. Board Member Freed seconded the motion which failed by a vote of 3-4. Board Member  
141 Frasier made a motion to approve H2025-005. Board Member Webb seconded the motion which passed by a vote of 4-3 with Chairman Miller  
142 Board Member Frasier and Freed dissenting.  
143

144 6. H2025-006 (ANGELICA GUEVARA)

145 Hold a public hearing to discuss and consider a request by Kevin McNeely for the approval of a Certificate of Appropriateness (COA) for Roof Replacement  
146 and Detached Garage for a High Contributing Property being a 0.27-acre parcel of land identified as Lot B, Block 12, F&M Addition, City of Rockwall,  
147 Rockwall County, Texas, situated within the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 505 Williams  
148 Street, and take any action necessary.  
149

150 Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting approval of a  
151 certificate of appropriateness to replace the existing metal roof with the composite shingle roof along with the construction of a new detached  
152 garage. The applicants letter indicates that the existing roof will be replaced with the composite shingle roof and while this material is not like and  
153 kind to the original staff does not feel it would negatively impair the historical presence of the overall home. Additionally, the proposed detached  
154 garage will replace the existing one on the subject property and will be a 600 square foot metal building on a concrete slab. It will consist of 10-  
155 foot walls to roll up garage doors and a metal access door. The total height of the structure will be less than 15 feet tall and will not be visible  
156 from the front of the property. The applicant has indicated that the structure will be wind and fire resistant and will have longer life span than a  
157 wood frame structure. Staff should note that the existing garage along with a damaged storm shelter will be removed due to their poor condition  
158 from the subject property leaving only the proposed detached garage. Staff also noted if this case does get approved the applicant will have to  
159 apply for a demolition permit and building permit through Building Inspection Department.  
160

161 Kevin McNeely  
162 505 Williams Street  
163 Rockwall, TX 75087  
164

165 Mr. McNeely came forward and explained there is three types of materials for roofing type. Explained that insurance would not be provided and  
166 roof needed to be replaced.  
167

168 Board Member Frasier asked if it would be further back than the existing building.  
169

170 Board Member Gaskin asked if it would be a metal building.  
171

172 Chairman Miller asked if they were changing anything in the driveway.  
173

174 Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
175 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
176

177 Board Member Frasier made a motion to approve H2025-006. Board Member Freed seconded the motion which passed by a vote of 4-2 with Board  
178 Member Lewis and Chairman Miller dissenting.  
179

180 7. H2025-007 (ANGELICA GUEVARA)

181 Hold a public hearing to discuss and consider a request by Kevin McNeely for the approval of a Small Matching Grant for a Roof Replacement for a High  
182 Contributing Property being a 0.27-acre parcel of land identified as Lot B, Block 12, F&M Addition, City of Rockwall, Rockwall County, Texas, situated within  
183 the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 505 Williams Street, and take any action necessary.  
184

185 Planning Technician angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting a small matching grant  
186 for the roof replacement only at the subject property at 505 William Street. The purpose of the program is to encourage small improvements and  
187 beautification projects that are visible from the street. This request being for the roof replacement does fall in line with the intent of the program  
188 and with the home also being a high contributing property that the request eligible for a small matching grant above to \$1000. Since the board did  
189 approve one earlier tonight if this request were to be approved then the small matching grants fund would go down to \$3500 for the fiscal year.  
190

191 Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
192 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
193

194 Board Member Freed made a motion to approve H2025-007 for \$1,000. Board Member Lewis seconded the motion which passed by a vote of 5-1  
195 with Chairman Miller dissenting.  
196

197 8. H2025-008 (ANGELICA GUEVARA)

198 Hold a public hearing to discuss and consider a request by Kevin McNeely for the approval of a Building Permit Fee Waiver for a Roof Replacement for a High  
199 Contributing Property being a 0.27-acre parcel of land identified as Lot B, Block 12, F&M Addition, City of Rockwall, Rockwall County, Texas, situated within  
200 the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 505 Williams Street, and take any action necessary.  
201

202 Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting a Building Permit Fee  
203 Waiver for a roof replacement.

204  
205 Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
206 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.

207  
208 Chairman Miller made a motion to approve H2025-008. Board Member Gaskin seconded the motion which passed by a vote of 7-0  
209

210 9. H2025-009 (ANGELICA GUEVARA)  
211 Hold a public hearing to discuss and consider a request by Kevin McNeely for the approval of a Building Permit Fee Waiver for a Detached Garage on a High  
212 Contributing Property being a 0.27-acre parcel of land identified as Lot B, Block 12, F&M Addition, City of Rockwall, Rockwall County, Texas, situated within  
213 the Old Town Rockwall (OTR) Historic District, zoned Single-Family 7 (SF-7) District, addressed as 505 Williams Street, and take any action necessary.  
214

215 Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting a building permit fee  
216 waiver for the detached garage. With this proposed project it is not for rehabilitation or restoration purposes for the high-contributing property. If  
217 this were to get approved, it would be eligible for 100% reduction under the building permit fee waiver program which would be a total of \$348.75.  
218 However, the request is a discretionary decision for the Historic Preservation Advisory Board.  
219

220 Chairman Miller opened the Public Hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
221 such, Chairman Miller closed the public hearing and brought the item back for discussion or action.  
222

223 Board Member Webb made a motion to deny H2025-009. Board Member Lewis second the motion which was denied by a vote of 7-0.  
224

225 V. DISCUSSION ITEMS  
226

227 *These items are for discussion between staff and the Historic Preservation Advisory Board (HPAB) and relate to administrative information and/or cases that*  
228 *will come forward for action or public hearing at a future Historic Preservation Advisory Board meeting. Public comment on these cases can take place when*  
229 *these items are considered for action by the Historic Preservation Advisory Board.*  
230

231 10. Update from Historic Preservation Officer (HPO) regarding historic projects. (RYAN MILLER)  
232

233 VI. ADJOURNMENT  
234

235 Chairman Miller adjourned the meeting at 7:04PM  
236

237 PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY  
238 OF \_\_\_\_\_ 2025.

239  
240  
241 \_\_\_\_\_  
242 TIFFANY MILLER, CHAIRMAN  
243

244  
245 \_\_\_\_\_  
246 ATTEST: MELANIE ZAVALA, PLANNING COORDINATOR  
247

# MINUTES

HISTORIC PRESERVATION ADVISORY BOARD MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
MARCH 20, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2  
3 I. CALL TO ORDER  
4

5 Board Member Freed brought the meeting to order at 6:00PM. Board members present were Allison McNeely, Steve Gaskin, and Fran Webb. Board  
6 members absent were Chairman Tiffany Miller, Vice-Chairman Haydon Frasier and Bard Member Ben Lewis. Staff members present Senior Planner  
7 Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara and Planning Coordinator Melanie Zavala. Staff absent from the meeting  
8 was Director of Planning and Zoning Ryan Miller.  
9

10 II. OPEN FORUM  
11

12 *This is a time for anyone to address the Historic Preservation Advisory Board (HPAB) on any topic that is not already listed on the agenda for a public hearing.*  
13 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during*  
14 *the OPEN FORUM, please know that the Historic Preservation Advisory Board (HPAB) is not permitted to respond to your comments during the meeting per*  
15 *the Texas Open Meetings Act.*  
16

17 Board Member Freed explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time, there  
18 being no one indicating such Board Member Freed closed the open forum.  
19

20 III. CONSENT AGENDA  
21

22 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code*  
23 *(UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
24

- 25 1. Approval of Minutes for the February 20, 2025 Historic Preservation Advisory (HPAB) meeting.  
26

27 Board Member Gaskin made a motion to approve the Consent Agenda. Board Member Webb seconded the motion which passed by a vote of 4-0.  
28

29 IV. PUBLIC HEARING ITEMS  
30

31 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
32 *submit a Request to Address the Historic Preservation Advisory Board (HPAB) (i.e. the yellow forms available at the podium or from staff). The Historic*  
33 *Preservation Advisory Board Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please*  
34 *limit all comments to three (3) minutes out of respect for the time of other citizens.*  
35

- 36 2. H2025-010 (HENRY LEE)  
37

38 Hold a public hearing to discuss and consider a request by Annette Lall on behalf of HIS Covenant Children, Inc. for the approval of a Certificate of  
39 Appropriateness (COA) for exterior alterations for a Landmark Property being a 0.689-acre tract of land identified as a portion of Lots A & B, Block 2, Griffith  
40 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 303 E. Rusk Street, and take any action necessary.

41 Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. The subject property has Historical significance due to its  
42 architectural engineering. The architect was George Lindsay and Harris & Shuman was the builder. The year it was built was roughly around circa  
43 1913. This case may look familiar since the applicant has come forward looking to replace the doors and replace the stained-glass windows.  
44 However, this request was ultimately denied by the Historic Preservation Advisory Board (HPAB). The applicant is coming forward to replace the  
45 four (4) doors and replace four (4) transom windows. When looking at the Historic guidelines and the images provided in the National Register  
46 documentation they provided the doors do appear to be characteristic to what was originally installed on the property during that time period. They  
47 are essentially requesting to put in plain glass windows and get the stained-glass windows repaired, and then replace them. When looking at the  
48 quote they provided for each of these things the doors are a 12-14-week timeline for a total cost of \$156,802.96 and for the plain glass windows  
49 with the stained glass will be a 12-16-week process at \$18,000. Total project cost being \$174,802.96. When looking at this request this does appear  
50 to restore some of the historical integrity that has been lost over the property in the past few years. On March 3<sup>rd</sup> staff mailed out 56 notices to  
51 property owners and occupants within 200 feet of the subject property. At this time, there have not been any notices in regard to this request.  
52 There is a condition of approval that a new Certificate of Appropriateness (COA) may not be submitted until the scope of work has been fully  
53 completed.  
54

55 Annette Lall  
56 102 N. Fannin Street  
57 Rockwall, TX 75087  
58

59 Mrs. Lall came forward and expressed that the property is under contract and she would like to table her case until the following meeting.  
60

61 Board Member Freed opened the public hearing and asked if anyone who wished to speak to come forward at this time. There being no one  
62 indicating such Board Member Freed closed the public hearing and brought the item back for discussion or action.  
63

64 Board Member Gaskin made a motion to table this request for next meeting on April 17<sup>th</sup>. Board Member McNeely seconded the motion which was  
65 tabled by a vote of 2-1 with Board Member Freed dissenting.  
66

67 3. H2025-011 (ANGELICA GUEVARA)

68 Hold a public hearing to discuss and consider a request by Gary and Carol Byrd for the approval of a *Certificate of Appropriateness (COA)* for an accessory  
69 building on a *Non-Contributing Property* being a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County,  
70 Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take  
71 any action necessary.  
72

73 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. In August of last year, the applicant was  
74 granted a Certificate of Appropriateness (COA) to allow the construction of a new single-family home. Included with that approval was a re-  
75 designation for the property going to a medium-contributing property to a non-contributing property. The applicant is requesting approval for a  
76 COA for the purpose of constructing an accessory building on the subject property. The Unified Development Code (UDC) states that a storage  
77 building is allowed in the rear yard and the structure should reflect the character of the existing residents. It should also be compatible in terms of  
78 scale, height, size, roof shape, materials and detailing. In this case the proposed structure will be 144 SF and be set on a concrete foundation, be  
79 nine (9) feet in height and would be clad in siding to match the primary structure. Based on this, the proposed structure meets all the requirements  
80 as stipulated by the Unified Development Code (UDC) With that being said this is a discretionary decision or the Historic Preservation Advisory  
81 Board (HPAB) On March 3, 2025 staff mailed out notices to 18 property owners within 200 feet of the subject property. At this time staff had not  
82 received any notices in return.  
83

84 Board Member Freed opened the public hearing and asked if anyone who wished to speak to come forward at this time. There being no one  
85 indicating such Board Member Freed closed the public hearing and brought the item back for discussion or action.  
86

87 Board Member Gaskin made a motion to approve H2025-011. Board Member Webb seconded the motion which passed by a vote of 4-0.  
88

89 V. DISCUSSION ITEMS

90  
91 *These items are for discussion between staff and the Historic Preservation Advisory Board (HPAB) and relate to administrative information and/or cases that*  
92 *will come forward for action or public hearing at a future Historic Preservation Advisory Board meeting. Public comment on these cases can take place when*  
93 *these items are considered for action by the Historic Preservation Advisory Board.*  
94

95 4. Update from Historic Preservation Officer (HPO) regarding historic projects. (RYAN MILLER)

96  
97 Senior Planner Henry Lee indicated that there are currently no ongoing historic projects.  
98

99 VI. ADJOURNMENT

100  
101 Board Member Freed adjourned the meeting at 6:13PM  
102

103 PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY  
104 OF \_\_\_\_\_ 2024.  
105

106  
107 \_\_\_\_\_  
108 TIFFANY MILLER, CHAIRMAN  
109

110  
111 \_\_\_\_\_  
112 ATTEST: MELANIE ZAVALA, PLANNING COORDINATOR  
113  
114  
115



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Historic Preservation Advisory Board

**DATE:** June 19, 2025

**APPLICANT:** Ashley Eagan and Justine Jones

**CASE NUMBER:** H2025-012; *Certificate of Appropriateness (COA) for 109 St. Mary's Street*

### SUMMARY

Hold a public hearing to discuss and consider a request by Ashley Egan and Justine Jones for the approval of a Certificate of Appropriateness (COA) for Exterior Alterations of a Landmark Property being a 0.3900-acre parcel of land identified as Lot A, Block 117, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 109 St. Mary's Street, and take any action necessary.

### BACKGROUND

According to the 2017 *Historic Resource Survey*, the subject property is classified as a *Landmark Property*. According to the *Residential Property Form* provided to the *Texas Historical Commission* on April 26, 2000, the 3,344 SF single-family home -- situated on the subject property at 109 St. Mary's Street -- was constructed in 1888 in *Folk Victorian L Plan* style. It is considered an excellent example of vernacular Victorian domestic architecture, demonstrating the form, scale, and restrained ornamentation typical of the era. Key architectural features include cross-gabled massing, a front porch with spindle work, wood lap siding, and vertically oriented windows all of which are consistent with late 19th-century construction practices and contributing to the historic character of both the property and surrounding area.

Historical maps, including the 1934 Sanborn Maps, indicate that the property was annexed prior to 1934. According to the Rockwall Central Appraisal District (RCAD), the site includes two covered porches (343 SF and 196 SF), both of which are original to the 1888 construction. Additional structures on the property include a 36-square-foot storage building (constructed in 2005) and a 728-square-foot detached garage (constructed in 2015).

The property's historic case history includes the following:

- November 17, 2008: The City Council approved a City initiated case involving the designation of 109 St. Mary's as a *Landmark Property* [Case No. H2008-008].
- August 15, 2013: The Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) for several exterior alterations including replacement of windows, doors, and the restoration of the home [Case No. H2013-010].
- January 16, 2014: The Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) and recommend approval to the Planning and Zoning Commission and City Council for the construction of a 1,152 SF detached garage [Case No. H2014-001].



FIGURE 1: Subject Property in June 2025

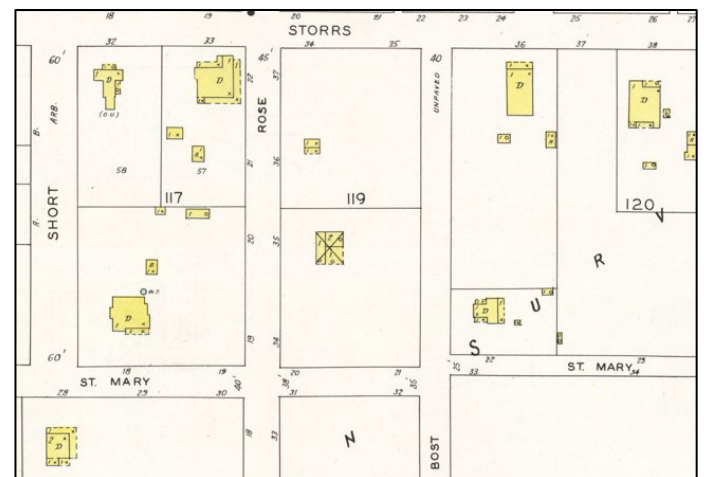


FIGURE 2: 1934 SANBORN MAPS



- March 3, 2014: The City Council approved a Specific Use Permit (SUP) for a detached garage [Case No. Z2014-003].
- November 16, 2017: The Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) for exterior alterations including adding a second level deck and railing, extending the concrete driveway, adding a pergola, and replacing the original siding of the home [Case No. H2017-016].

## **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of enclosing 230 SF of the back porch and utilizing [1] any materials that can be salvaged from the existing home, [2] wood siding that matches the original lap-siding, [3] a new sliding glass door, and [4] a direct set window.

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 109 St. Mary's Street. The land uses adjacent to the subject property are as follows:

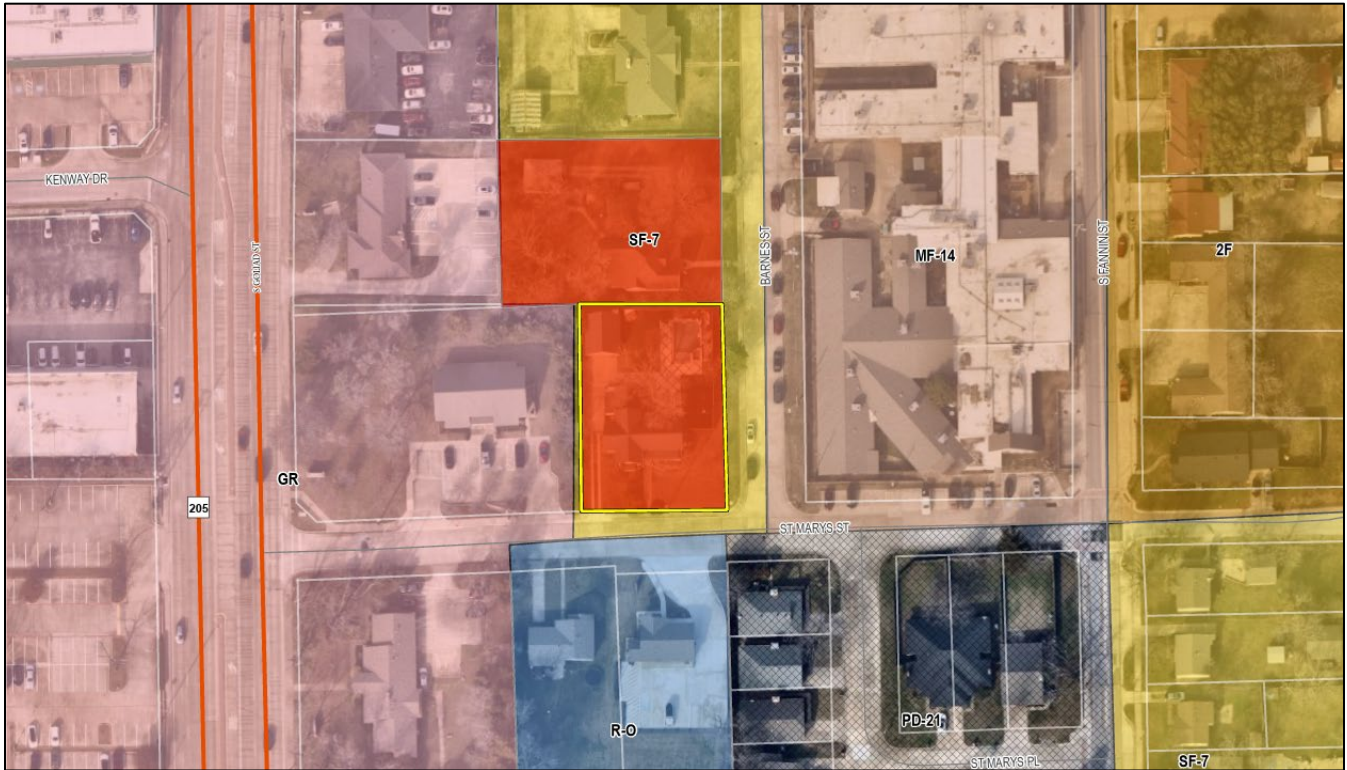
North: Directly north of the subject property is a 0.500-acre parcel of land (*i.e. Block 79, B.F. Boydston Addition*), zoned Single-Family 7 (SF-7) District and developed with a 1,672 SF single-family home classified as a *Landmark Property (i.e. the Barnes Home)*. Beyond this is a 0.500-acre parcel of land (*i.e. Block 78, B.F. Boydston Addition*), zoned Single Family 7 (SF-7) District, and developed with a 1,855 SF single-family home. Beyond that is Storrs Street, which is identified as a R2 (*i.e. residential, two [2], undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.983-acre parcel of land (*i.e. Block 77 & 76, B.F. Boydston Addition*), zoned Downtown (DT) District, that is developed with a City of Rockwall owned parking lot.

South: Directly south of the subject property is St. Mary's Street, which is identified as a R2 (*i.e. residential, two [2], undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.5070-acre parcel of land (*i.e. Block 80C, B.F. Boydston Addition*), zoned Residential Office (RO) District, developed with a 1,198 SF single-family home that was converted to a medical office building. Beyond this is a 2.153-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Main Post Office Addition*), zoned General Retail (GR) District, and developed with a 12,480 SF local post office. Beyond that is E. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Barnes Street, which is identified as a R2 (*i.e. residential, two [2], undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.814-acre parcel of land (*i.e. Lot 1, Block A, W.E. Campbell*), zoned Multi-Family 14 (MF-14) District, and developed with a 46,954 SF nursing home. Beyond that is S. Fannin Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 0.75-acre parcel of land (*i.e. Lot 1, Block 1, Albright-Hill Addition*), zoned General Retail (GR) District, and developed with a 2,506 SF office building. Beyond this is S. Goliad Street (*i.e. SH-205*), which identified as a P6D (*principal arterial, six (6) lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 9.43-acre parcel of land (*i.e. First Baptist Church of Rockwall*) identified as Lot 1, Block A, First Baptist Church Addition, and is partially zoned Single-Family 10 (SF-10) District and partially zoned General Retail (GR) District. This property is developed with a 27,503 SF church/house of worship.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



**CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to enclose approximately 230 SF of unconditioned space (*i.e. the porch*) at the rear of the existing single-family residence. The addition is intended to expand the home's functionality by converting the current half-bath into a full bathroom and creating a dedicated dining area. According to the applicant's letter, the project has been thoughtfully designed to complement the original structure in both material and form.

The proposed exterior will be consistent with the existing home's architectural character, including matching siding, roof pitch, and trim detailing. Key features of the addition include a prominent fixed glass window and a sliding glass door facing the backyard, which will increase natural light and enhance visual connection to the outdoor space. The provided elevation exhibits (*Elevations 1-3*) depict how the new construction will integrate with the original footprint of the historic structure.

**CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 06.03(F), *Certificate of Appropriateness (COA) for Alteration or New Construction*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(the provisions of this ordinance [*Historic Overlay (HOV) District*] shall apply only to those properties ... which meet the following criteria: [1] either be a designed historical landmark or be wholly or partially located within a designated historic district, and [2] either be a contributing property as defined by *Subsection B* or be located within 200-feet of a contributing property." In this case, the subject property is designated as a historical landmark property and therefore meets the criteria.

Staff should note that the Historic Preservation Advisory Board (HPAB) has the ability to review the proposed exterior changes and cannot consider interior remodel work. In reviewing the applicant's request against Section 07, *Building Standards*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC) the following guidelines apply:

(1) *Building Standards.*

- (a) *Height.* According to Section 07(A), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), "(a)ll new buildings and additions shall be constructed to a height and number of stories which are consistent

and compatible with existing neighboring historic buildings or structures on the same block face.” In this case, the proposed addition will not change the height of the existing home.

- (b) *Building Setback and Orientation*. According to Section 07(B)(1), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), “(a)ll new additions, alterations, infill and new infill construction should recognize and maintain the established historic home site orientation, and side and front side setbacks within the block face, thereby being visually compatible and maintaining the established rhythm and setback spacing.” Based on the applicant’s building plans, the proposed addition will be in conformance with the required setbacks for a structure in a Single-Family 7 (SF-7) District.
- (c) *Building Facades and Materials*. According to Section 07(C)(6), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), “(n)ew additions, alterations and new construction should be visually compatible with neighboring historic buildings or structures.” Based on the building elevations and scope of work provided by the applicant, the exterior façade of the new addition will consist of the same materials that the existing single-family home is currently faced with, excluding the large sliding door and windows along the dining area; however, the glass door and windows will have colonial grilles which will bring the sliding door and windows closer to a look that mimics the original time-period of the structure.
- (d) *Roofs*. According to Section 07(M), of Appendix D, *Historic Preservations Guidelines*, of the Unified Development Code (UDC), “(r)eplacement, addition, or alteration to an existing roof should have the same overhang as the existing roof.” The code goes on to say “(t)he degree and direction of roof slope or pitch should be consistent with the style and period of the historic structure.” In this case, the applicant’s plan shows that they will utilize the existing roof of the patio and will not change the overhangs, pitch or slope of the existing roof.
- (e) *Paint and Color*. According to Section 07(M), of Appendix D, *Historic Preservations Guidelines*, of the Unified Development Code (UDC), “(b)rick, stone or other naturally or historically unpainted materials should not be painted unless the material has been painted before.” In this case, the existing home has been previously painted and does not require the approval of the Historic Preservation Advisory Board (HPAB); however, the applicant has indicated to staff that they intend to paint the addition the same or a similar color as the existing single-family home, to create a consistent look. Staff should note that the HPAB does not have discretion over this aspect of the case, unless, as mentioned previously, the material has not been painted before; however, the *Historic Preservation Guidelines* discourage “...(f)lorescent and metallic colors.”

According to Subsection 06.03(G)(5), *Standards of Approval*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “the Historic Preservation Advisory Board (HPAB) must approve the application for a Certificate of Appropriateness (COA) if it determines that ... the application will not adversely affect the character of the site; and the proposed work is consistent with the regulations contained in this section [*i.e.*] and proposed preservation criteria ...” In this case, the proposed addition reflects a clear intent to remain compatible with the original 1888 Folk Victorian L-Plan home, both in scale and in select architectural detailing. The original structure, typical of late 19th-century vernacular design, is defined by its asymmetrical form, steeply pitched cross-gabled roof, modest ornamentation, and wooden lap siding—all features that contribute to its historic character. According to the applicant’s letter, the addition will utilize similar materials and rooflines, with siding and trim to match the existing home. The proposed elevations show an effort to preserve the prominence of the historic structure by setting the addition back and limiting its height, which helps ensure that the original building remains visually dominant; however, some elements -- *such as simplified fenestration or less ornate detailing on the addition* -- depart slightly from the decorative language of the original home. While this may be intentional to avoid creating a false sense of historical development, care should be taken to ensure window proportions, trim profiles, and porch treatments continue to reflect the massing and rhythm of the original architecture. The applicant has also stated that the addition will be designed so that it can be removed easily in the future without damaging the original structure, preserving the home’s historic character. In conclusion, the proposed addition is generally in keeping with the time period in which the home was constructed in terms of massing, materials, and roof configuration. With continued attention to historically sympathetic detailing -- *especially in trim, porch elements, and window design* -- the addition should maintain the architectural integrity and historic character of the original *Folk Victorian L-Plan* home. It also does not seem to negatively impact the adjacent *Landmark Property* directly north of the subject property (*i.e. the Barnes Home*). With all that being said, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).



## **NOTIFICATIONS**

On June 5, 2025, staff mailed 23 property owner notifications to property owners and occupants within 200-feet of the subject property. At the time this report was drafted, staff has received one (1) notice by email in favor of the applicant's request from an occupant within 200-feet of the subject property.

## **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) The applicant shall be required to receive the necessary building permit(s) prior to any construction on the subject property.
- (2) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER:

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING:

DATE RECEIVED:

RECEIVED BY:

### APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

### SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

### CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

### CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 109 St. Marys Street

SUBDIVISION

LOT

A

BLOCK

117

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT?  YES  NO

APPLICANT(S) IS/ARE:  OWNER  TENANT  NON-PROFIT  RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY:

OWNER(S) NAME ASHLEY EGAN

APPLICANT(S) NAME JUSTINE JONES

ADDRESS 109 St. Marys Street

ADDRESS 109 St. Marys Street

ROCKWALL, TX 75087

ROCKWALL, TX 75087

PHONE 706-340-6302

PHONE 509-630-1392

E-MAIL EGAN2116@msn.com

E-MAIL JUSTJONES18@yahoo.com

## SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:

EXTERIOR ALTERATION

NEW CONSTRUCTION

ADDITION

DEMOLITION

RELOCATIONS

OTHER, SPECIFY:

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE):

\$ 75,000

**PROJECT DESCRIPTION.** IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

Plan for enclosing a portion of our back patio to gain a dining space, a pantry, and converting a half bath to a full bath.

## OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

OWNER'S SIGNATURE

APPLICANT'S SIGNATURE

May 30<sup>th</sup>, 2025

Historic Preservation Advisory Board

City of Rockwall Planning and Zoning Department

Rockwall, TX 75087

Dear Advisory Board Members,

We, Justine Jones and Ashley Egan wish to submit an application in hopes for approval to do some exterior alterations to our home located at 109 St. Mary Street in Rockwall. As you may know, our WONDERFUL home is known as “The Old Jones home” and is believed to be one of the oldest standing homes in Rockwall built in 1888. We purchased it in 2021 and have felt very grateful to have the opportunity to live in this historic home with our 4 children. We are asking to expand the home in order to continue to live here comfortably as our children continue to grow. Below listed are the planned alterations:

1. First level addition – We would like to enclose a portion of an existing back porch in order to add on a dining table area, a pantry, and turn a half bath into a full bathroom. This porch is a back patio porch that is L shaped. We would enclose half of the porch and the other half would remain as an outside patio. This addition encloses approximately 230 square feet. The current roof covering over the porch would not be altered. This addition would allow us to eat as a family at one table! Also, the current home does not have a pantry for food storage. We would greatly utilize an area for food storage. We have a current half-bathroom downstairs and one full bathroom upstairs. Adding an additional shower would provide greater flexibility for our children. The planned addition is not visible from either Barnes or St. Marys.

We are committed to the integrity of preserving our 1888 gem. We will be including a materials list as per instructed. It is important to share, that we will be using any materials that can be salvaged from the home. Our kitchen floor is the old plank sheathing that was uncovered during some remodeling before we purchased the home. I expect the exterior wall will contain this sheathing as well and we will be using it to finish out the floors for the addition. If it does not, we will be getting old “true 10 x 10 x 1s” to replicate.

We appreciate you taking the time to review our project and we look forward to getting started soon!

Sincerely,



Ashley Egan



Justine Jones

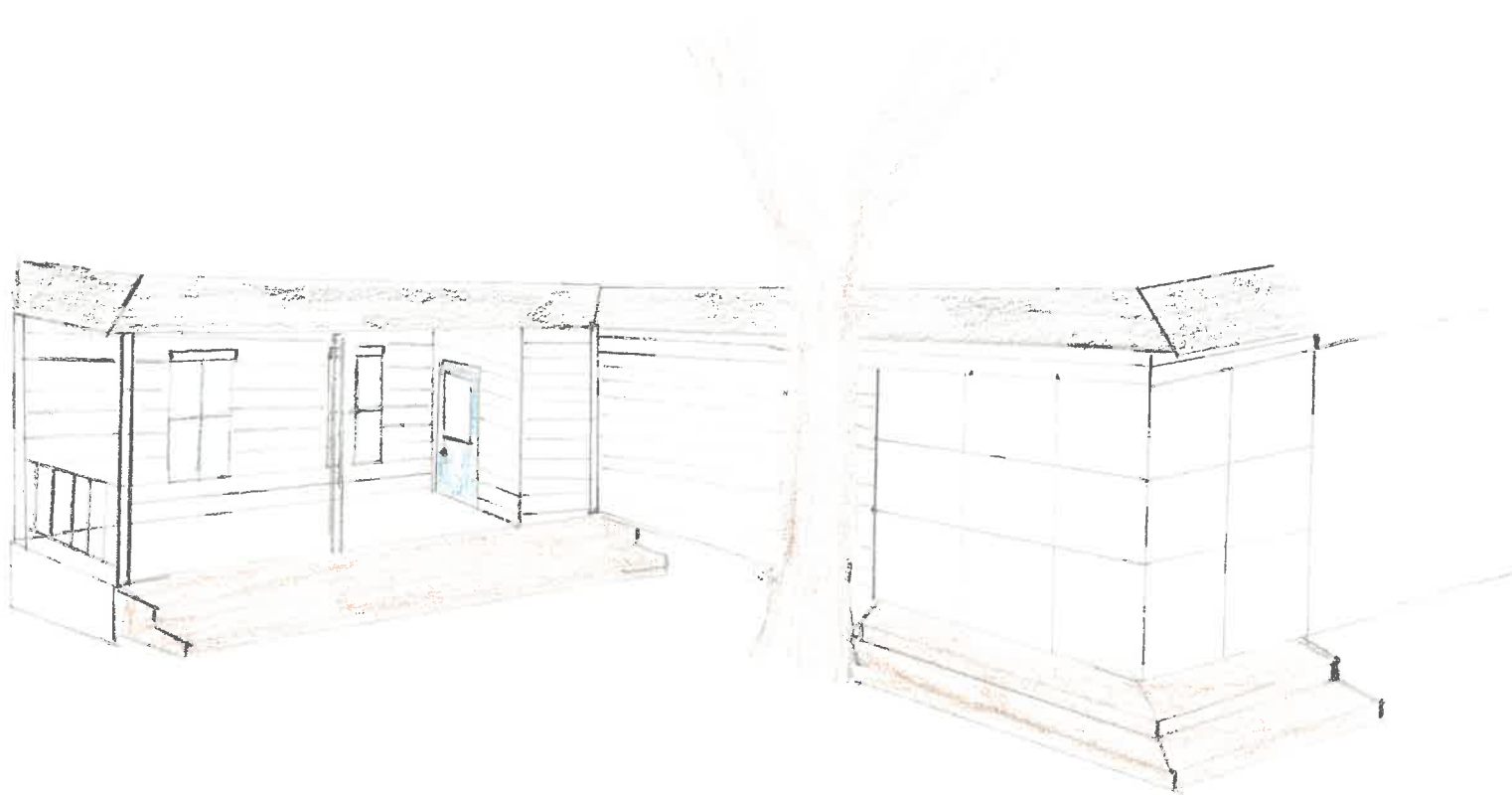


Street view - St. Marys



Street view - Barnes

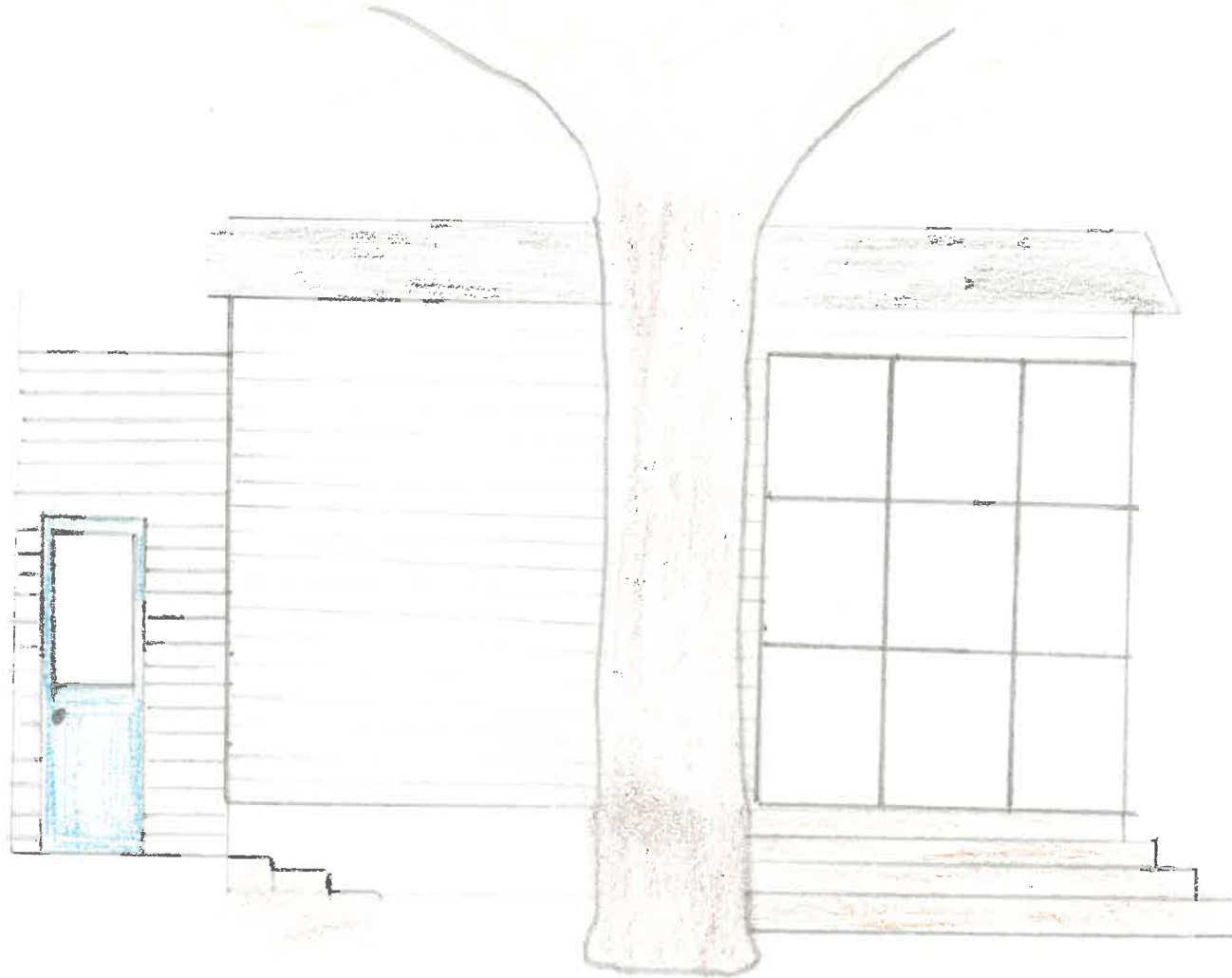
#1

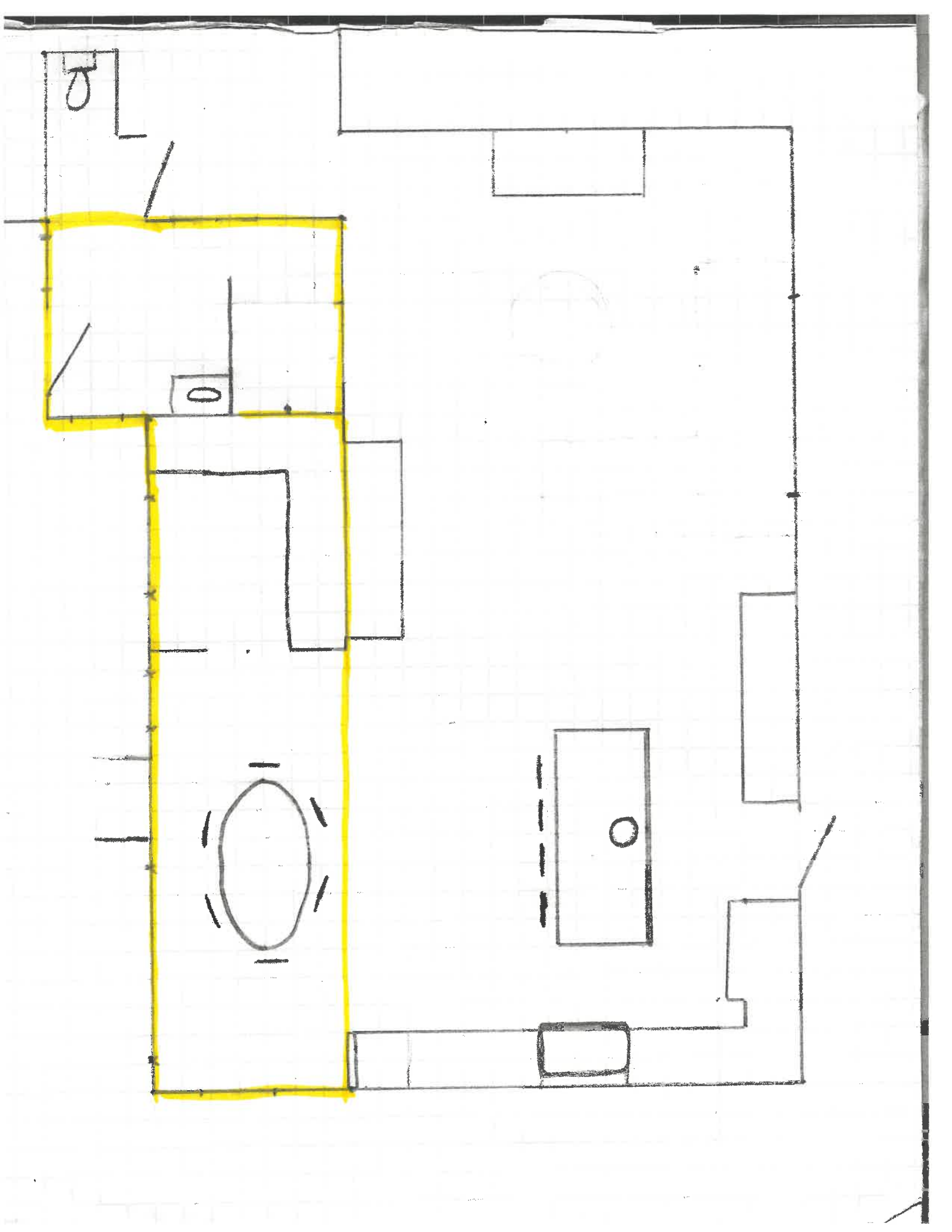




#2











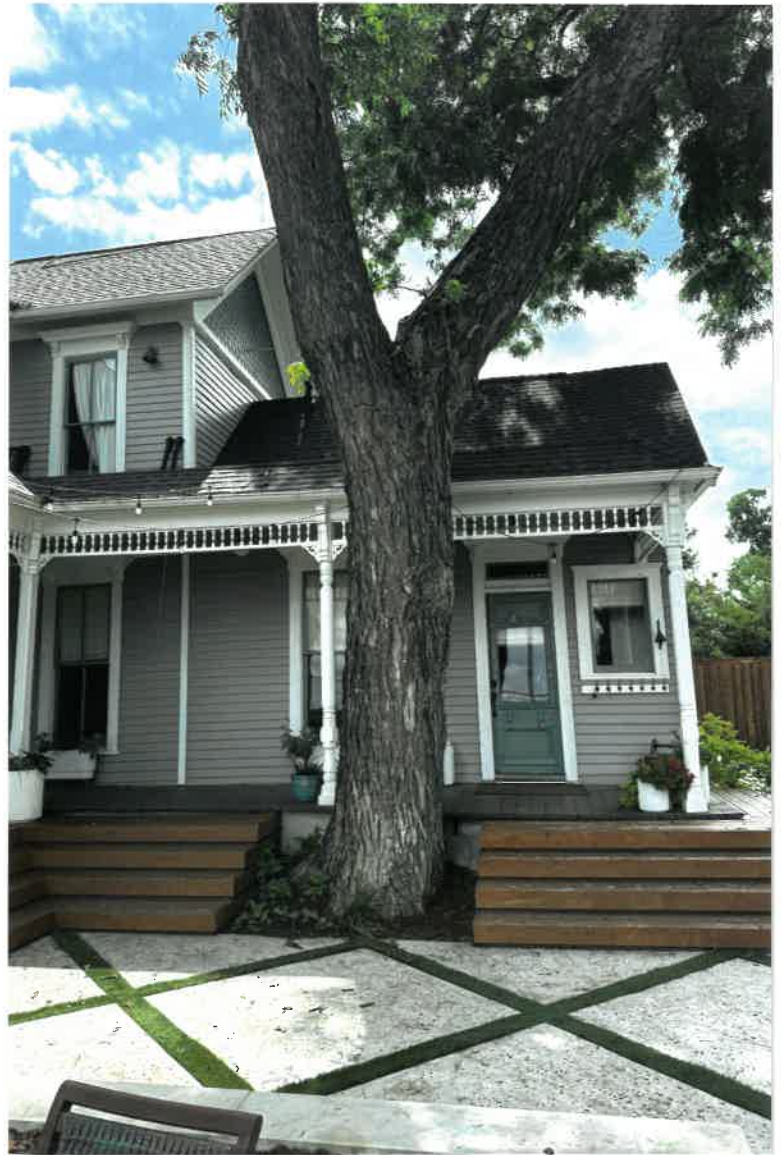
#1



#2



#3

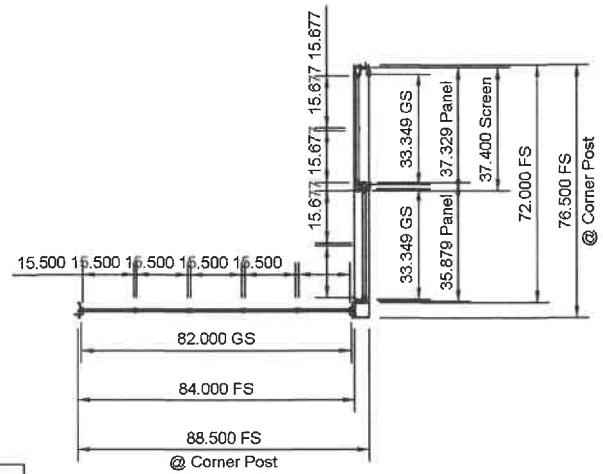
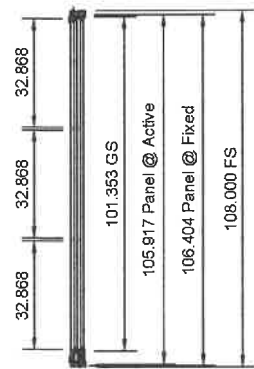
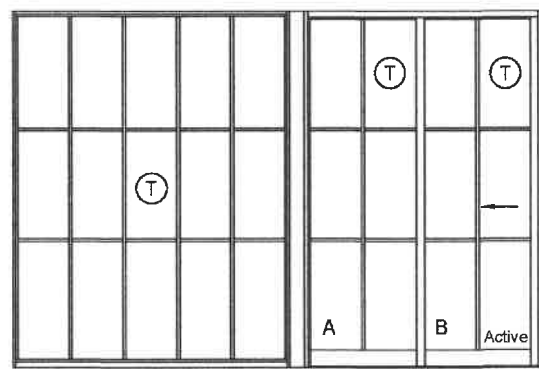
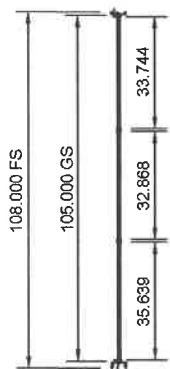


⊛ Numbers correlate with elevation exhibits



Thermal Break - Provided
1.50" Threshold - Provided
Flush Handle - Black Finish - Keyed - Provided
3.00" Diameter Rollers - Provided
Screens - Provided
Nail-Fin Frame - Provided
Drip Cap - Provided

0.875" Wide SDL Pattern

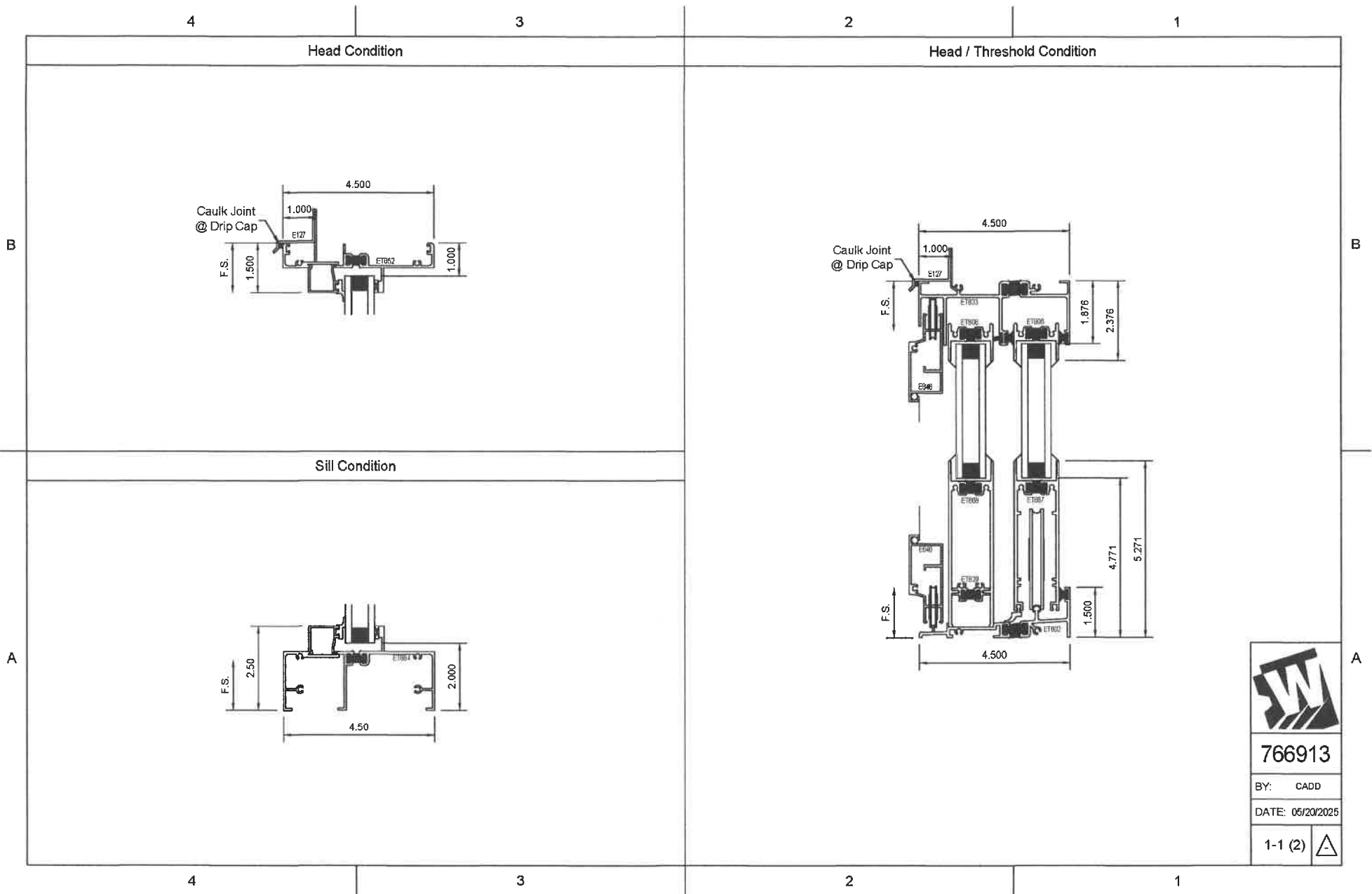


Line Item:	1-1	Quantity:	1	Room ID:	N/A
Series 600		Direct Set Window			
Series 600		Sliding Glass Door (OX)			

**766913**

BY: CADD  
DATE: 05/20/2025

1-1 (1)



766913

BY: CADD

DATE: 05/20/2025

1-1 (2)



4

3

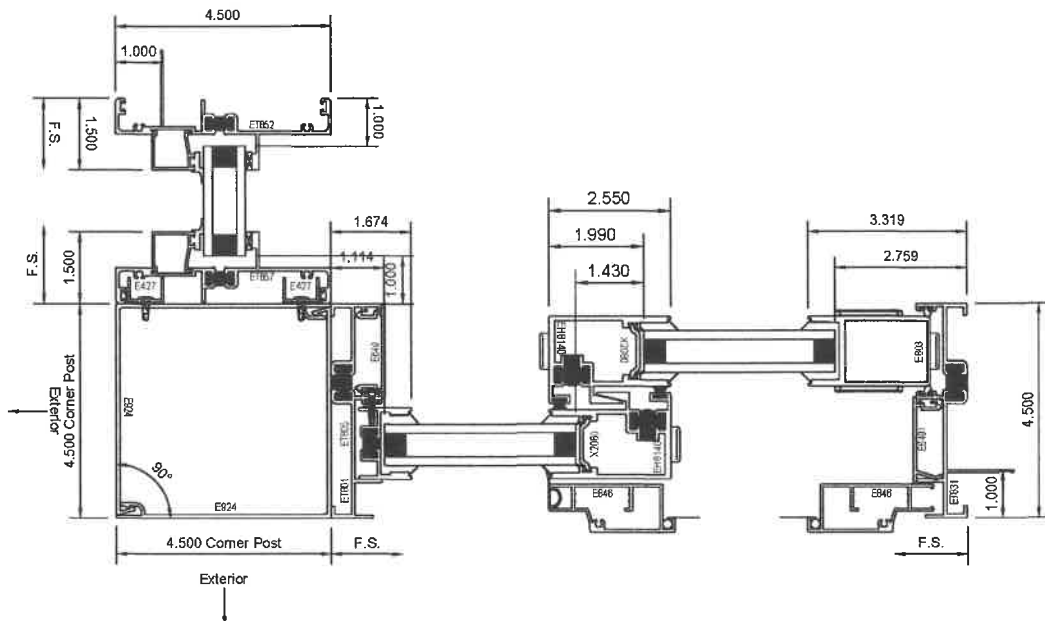
2

1

Full Jamb / 90° Corner Post / Interlock Layout Condition

B

B



A

A

4

3

2

1



766913

BY: CADD

DATE: 05/20/2025

1-1 (3)



4

3

2

1

0.875" Wide SDL Pattern

Glass Profile

Muntin Location Profile

TRail

BOF

Stile

Stile

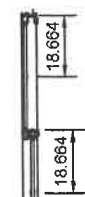
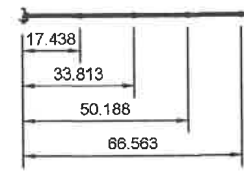
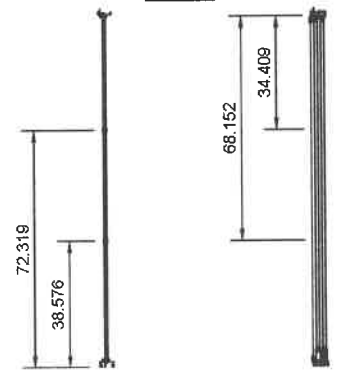
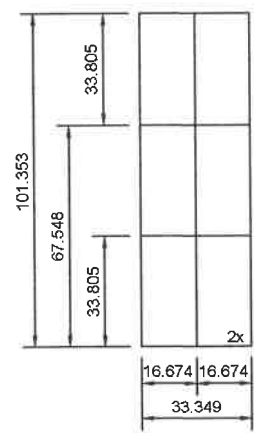
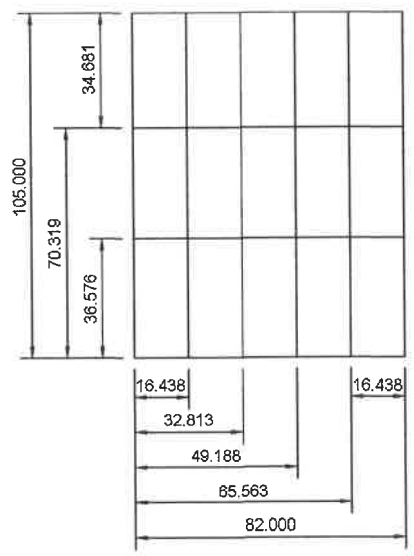
EOF

B

B

A

A



4

3

2

1

766913

BY: CADD

DATE: 05/20/2025

1-1 (4)

# ESTIMATE

**T&D Construction INC.**  
4577 County Road 643  
Nevada, TX 75173

tom@mytdconstruction.com  
+1 (214) 534-6437  
www.mytdconstruction.com



## Bill to

Ashley Egan & Justine Jones  
109 St Marys Street  
706-340-6302 (509) 630-1392  
Rockwall, Texas

## Ship to

Ashley Egan & Justine Jones  
109 St Marys Street  
706-340-6302 (509) 630-1392  
Rockwall, Texas

## Estimate details

Estimate no.: 16529  
Estimate date: 05/29/2025  
Expiration date: 05/29/2025

#	Date	Product or service	Description	Qty	Amount
1.		<b>Historic Home In Rockwall</b>	<p>Materials List-</p> <p>Foundation: We will be doing a pier-and-beam foundation consistent with the original structure, maintaining the home's elevated appearance and airflow underneath. Concrete piers will be used.</p> <p>Paint Colors: We will be painting the add on with colors from historic palettes appropriate to the home's era, ensuring they complement the existing color scheme from Ben Franklin or Sherwin Williams.</p> <p>Siding: We are going to use wood siding that matches the original in dimension and profile. We will be replicating the original lap siding in the same style as existing. We will utilize custom wood trim &amp; moldings (eaves, cornices, corner boards, etc., to match existing)</p> <p>Our work will be at the rear of the home and not visible so as to minimize the impact on the street view.</p> <p>We will design the addition so that it can be removed in the future without damaging the original structure, preserving the home's history.</p>	1	\$0.00



Total

**\$0.00**

Expiry date

05/29/2025

Accepted date

Accepted by



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Historic Preservation Advisory Board

**DATE:** June 19, 2025

**APPLICANT:** Jonathan Brown, AIA; JHP Architecture and Urban Design

**CASE NUMBER:** H2025-013; *Certificate of Appropriateness (COA) for Rockwall Community Playhouse*

### SUMMARY

Hold a public hearing to discuss and consider a request by Jonathan Brown, AIA of JHP Architecture and Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a Certificate of Appropriateness (COA) for [1] the demolition of two (2) *Medium Contributing Structures*, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) *Medium-Contributing Properties*, one (1) *Low Contributing Property*, and two (2) *Non-Contributing Properties* being a 0.805-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.

### BACKGROUND

The 1,728 SF single-family home -- situated on 610 E. Kaufman Street -- was constructed circa 1950 utilizing the *U-Plan* floor plan within the Old Town Rockwall (OTR) Historic District. According to the 2017 *Historic Resource Survey*, the home is classified as a *Medium Contributing Property*. The 3,708 SF Theater -- situated on 609 E. Rusk Street -- was constructed circa 1955 as a *Church/House of Worship* within the Old Town Rockwall (OTR) Historic District. According to the 2017 *Historic Resource Survey*, the building is classified as a *Medium Contributing Property*. A property that is assigned the *Medium Contributing* classification is defined as having most, but not all, of the historical character and integrity of a *Contributing Property* with some of this being lost through alterations. According to the 2017 *Historic Resource Survey*, the home at 610 E. Kaufman Street has had the doors replaced and the *Theater* at 609 E. Rusk Street has had the doors, windows, and some exterior wall materials replaced. The subject property was annexed prior to 1911 based on the April 1911 Sanborn Maps. According to the January 3, 1972 zoning map the subject property was zoned Single-Family 3 (SF-3) District. At some point between January 22, 1982 and May 16, 1983 the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. The property has remained zoned Single Family (SF-7) District since this date. On April 20, 2017, the Historic



FIGURE 1: JUNE 13, 2025

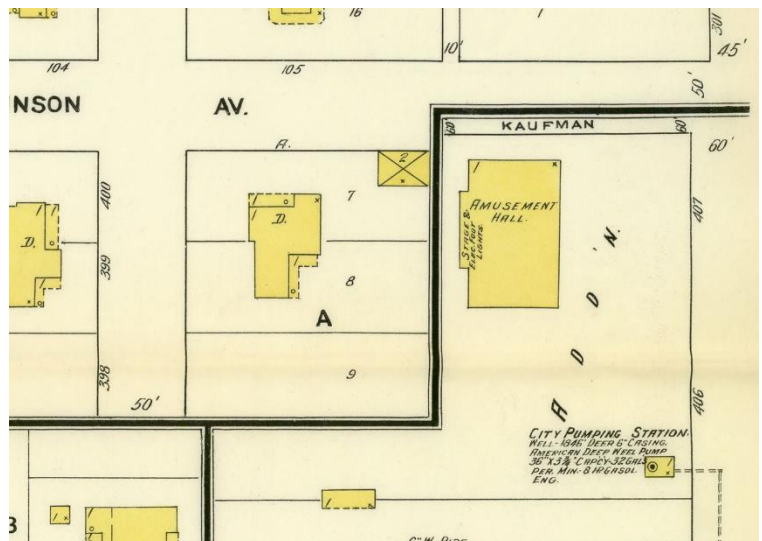


FIGURE 1: APRIL 11, 1911 SANBORN MAP

Preservation Advisory Board (HPAB) approved a motion to delay a Certificate of Appropriateness (COA) [Case No. H2017-004] to allow the demolition of the *Old Rockwall Water Pump House* for 60-days. Ultimately, the building was not purchased and was demolished.

## **PURPOSE**

The applicant -- *Jonathan Brown, AIA of JHP Architecture and Urban Design* -- is requesting approval of a Certificate of Appropriateness (COA) for [1] the demolition of two (2) *Medium Contributing Structures*, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) *Medium-Contributing Properties*, one (1) *Low Contributing Property*, and two (2) *Non-Contributing Properties*.

## **ADJACENT LAND USES AND ACCESS**

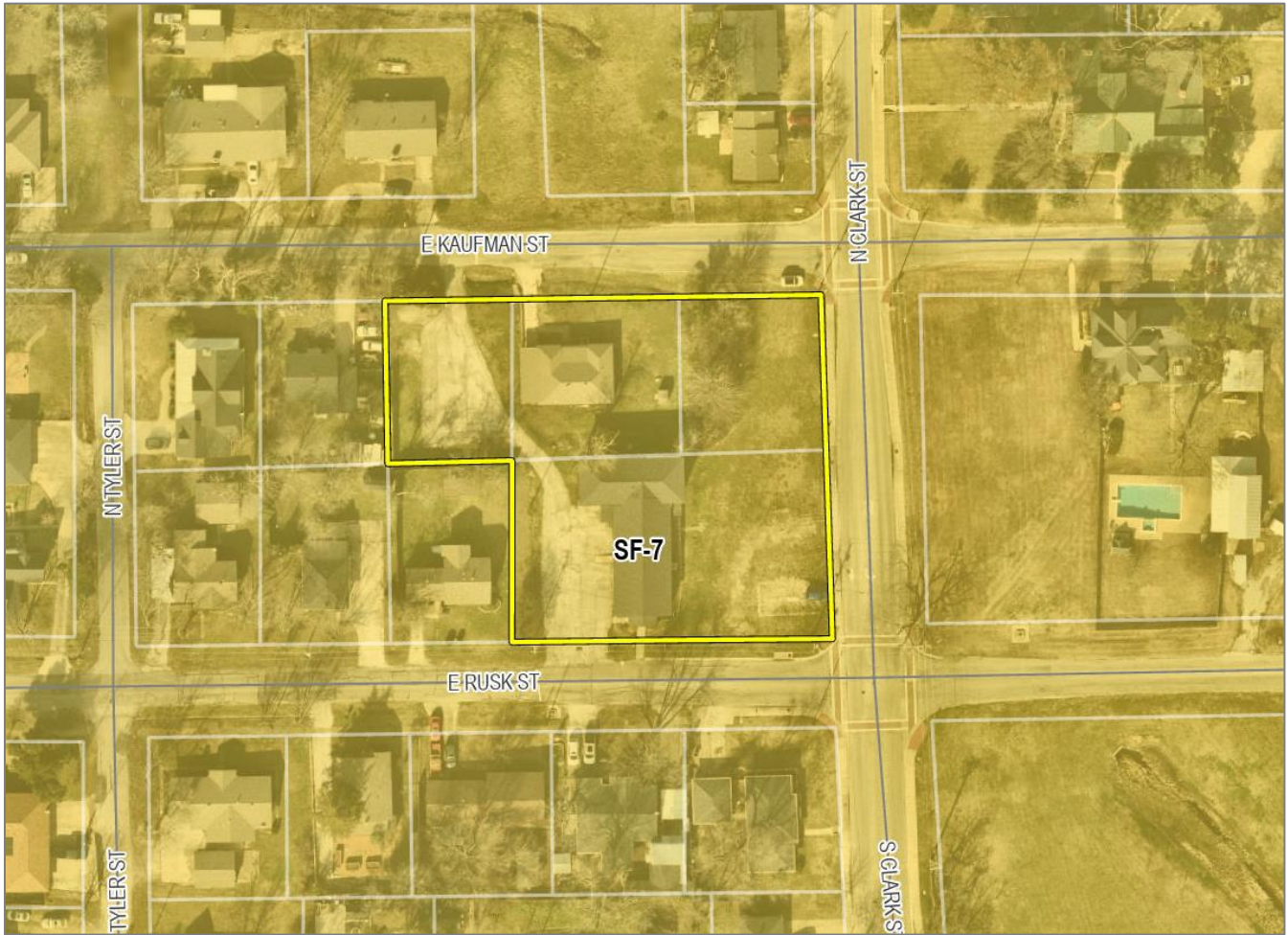
The subject property is located at 609 E. Rusk Street and 606, 610, & 612 Kaufman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Kaufman Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land, one (1) parcel (*i.e. part of Block 22, F&M Addition*) is vacant and the other two (2) parcels (*i.e. 201 & 203 N. Clark Street*) are developed with single-family homes that are designated as *Low Contributing Properties*. Following this is a 0.3230-acre parcel of land (*i.e. 205 N. Clark Street*) developed with a single-family home that is designated as a *Medium Contributing*. North of this is a 30-foot right-of-way developed with a sidewalk that serves *Loffand Park*, which is a 1.377-acre public park owned by the City of Rockwall. All of these properties are zoned Single Family 7 (SF-7) District and are located within the Old Town Rockwall (OTR) Historic District.

South: Directly south of the subject is E. Rusk Street, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. 606, 608, & 610 E. Rusk Street; 102 & 106 S. Clark Street; 609 E. Washington Street*) developed with one (1) *Duplex* and four (4) single-family homes. All of these properties are classified a *Medium Contributing Properties* within the Old Town Rockwall (OTR) Historic District and are zoned Single Family 7 (SF-7) District. Following this is E. Washington Street, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.503-acre parcel of land (*i.e. 104 S. Clark Street*) developed with a single-family home that is designated as a *High Contributing Property* and is located within the Old Town Rockwall (OTR) Historic District. Following this is the boundary for the Old Town Rockwall (OTR) Historic District. East of this is an 18.407-acre parcel of land (*i.e. Rockwall School No. 1 Addition*) developed with the Howard Dobbs Elementary School. Both of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 603 & 605 E. Rusk Street*) developed with *Low Contributing* single-family homes. Beyond this are three (3) parcels of land (*i.e. 604 E. Kaufman Street; 601 E. Rusk Street; 102 N. Tyler Street*) developed with single-family homes that are designated as *Medium Contributing Properties*. Following this is N. Tyler Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 7 (SF-7) District and are located within the Old Town Rockwall (OTR) Historic District.



**CHARACTERISTICS OF THE PROJECT**

On May 30, 2025, the applicant -- Jonathan Brown, AIA of JHP Architecture and Urban Design -- submitted a request for a Certificate of Appropriateness (COA) to allow [1] the demolition of two (2) *Medium Contributing Structures*, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) *Medium-Contributing Properties*, one (1) *Low Contributing Property*, and two (2) *Non-Contributing Properties*. Included with the applicant’s request are a list of development standards, a concept plan, and conceptual building elevations. Based on the proposed concept plan the ~9,950 SF performance center will be located along N. Clark Street with the majority of the parking located behind the building. In addition, the ~1,650 SF practice hall is located at the rear of the subject property and faces on E. Kaufman Street. The provided building elevations indicate that the proposed buildings will incorporate lap siding, board and batten siding, and masonry.

**CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY’S CODES**

According to Section 06, *Certificate of Appropriateness (COA)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(a)ny person carrying out any work that requires a building permit for exterior alteration, restoration, reconstruction, new construction, moving or demolition of a property within a historic district that is visible must first obtain a Certificate of Appropriateness (COA) from the Historic Preservation Advisory Board (HPAB).” In addition, Subsection 06.03(G)(6) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that a public hearing with the Historic Preservation Advisory Board (HPAB) is required before a decision can be made on a zoning recommendation. In this case the applicant is proposing to [1] demolish the existing buildings, [2] construct a new performance center and practice hall, and [3] change the zoning from Single-Family 7 (SF-7) District to a Planned Development. Based on



this scope of work, the applicant is required to request a Certificate of Appropriateness (COA) from the Historic Preservation Advisory Board (HPAB).

In reviewing the applicant's request against the Unified Development Code (UDC) the following guidelines apply:

Zoning Change: According to Subsection 06.03(G)(6) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a public hearing with the Historic Preservation Advisory Board (HPAB) is required before a decision can be made on a zoning recommendation. In this case, the existing *Theater* has held a Certificate of Occupancy (CO) since 1998 [*Permit No. CO1998-1039*] and is legally non-conforming. This means the subject property is permitted to remain in the current condition; however, if any changes are proposed the subject property must be brought into conformance. According to the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Theater* is not permitted within a Single Family 7 (SF-7) District. Given this, the applicant is requesting a zoning change from Single Family 7 (SF-7) District to Planned Development District for Single-Family 7 (SF-7) District land uses where the *Theater* land use is also a permitted *by-right* land use. In addition, the applicant has provided a list of development standards they are requesting to deviate from in order to address site constraints and the residential adjacencies. A summary of the density and dimensional requirements for the subject property and the proposed standards conformance to the current zoning are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Proposed Conformance to the Standards</i>
<i>Minimum Lot Area</i>	7,000 SF	X=35,066 SF; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	X>60-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=100-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	20-Feet	X=20-feet E. Kaufman Street; <i>In Conformance</i> X=15-feet N. Clark Street; <i>Non-Conforming</i> X=20-feet E. Rusk Street; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Side Yard Adjacent to Residential</i>	20-Feet	X=10-feet; <i>Non-Conforming</i>
<i>Maximum Building Height</i>	32-Feet	X=55-feet; <i>Non-Conforming</i>
<i>Max Building/Lot Coverage</i>	45%	X=33.13%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/3 Seats = 54 spaces	X=51; <i>Non-Conforming</i>

The items listed above as non-conforming indicate where the applicant is requesting deviations from the base zoning -- *Single Family 7 (SF-7) District* -- as outlined within Unified Development Code (UDC). In order to facilitate the applicant's request, these non-conforming items are written as development standards within the *Draft Ordinance*. In addition to the density and development requirements listed above, the applicant is requesting the following variations from the Unified Development Code (UDC): [1] to allow a ten (10) foot residential adjacency buffer with a wood fence and canopy trees in lieu of a 20-foot adjacency buffer with three (3) tiered landscaping and a wrought iron fence, and [2] reduced landscape buffer requirements along E. Kaufman Street, N. Clark Street, and E. Rusk Street. All this being said, the zoning change request is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

Demolition: According to Subsection 06.03(J), *Historic Overlay (HO) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) Certificate of Appropriateness (COA) is required prior to receiving a permit for demolition of a property within a historic district, including secondary buildings." In addition, Section 10, *Demolition Criteria*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), states that "...a structure which contributes historically or architecturally to the Historic District should be prohibited, except as provided below. Demolition of a structure would be allowed if:

- (1) The building has lost its architectural and historical integrity and importance, and its removal will not result in a negative, less appropriate visual effect on the Historic District; or
- (2) A structure does not contribute to the historical or architectural character and importance of the Historic District (e.g. a *Non-Contributing structure*), and its removal will result in a positive, appropriate visual effect on the Historic District; or

- (3) There is an imminent threat to the health, safety and welfare to the surrounding residents and/or property because of an unsafe condition that constitutes an emergency (see Section 11, *Demolition by Neglect*).

In this case, the applicant's request does not appear to meet item #3 listed above as there is not an imminent threat to the health, safety and welfare. Given this, the Historic Preservation Advisory Board (HPAB) is tasked with determining whether the structures have [1] lost their architectural and historical integrity and importance, and their removal will not result in a negative, less appropriate visual effect on the Historic District, or [2] whether the structures contribute to the historical or architectural character and importance of the Historic District. According to the *2017 Historic Resource Survey*, the single-family home -- situated on 610 E. Kaufman Street -- was constructed circa 1950, has had the doors replaced, and is classified as a *Medium Contributing Property*. The *Theater* -- situated on 609 E. Rusk Street -- was constructed circa 1955 as a *Church/House of Worship*, has had the doors, windows, and some exterior wall materials replaced, and is classified as a *Medium Contributing Property*. A property that is assigned the *Medium Contributing* classification is defined as having most, but not all, of the historical character and integrity of a *Contributing Property* with some of this being lost through alterations. In this case, the proposed existing assets have changed from their historical origins, and the applicant's request maybe appropriate considering their intended improvements to the property; however, the demolition request is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

*New Construction*: According to Section 06, *Certificate of Appropriateness (COA)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a)ny person carrying out any work that requires a building permit for exterior alteration, restoration, reconstruction, new construction, moving or demolition of a property within a historic district that is visible must first obtain a Certificate of Appropriateness (COA) from the Historic Preservation Advisory Board (HPAB)." In addition, according to Subsection 06.03(F), *Certificate of Appropriateness (COA) for Alteration or New Construction*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he provisions of this ordinance [*Historic Overlay (HOV) District*] shall apply only to those properties ... which meet the following criteria: [1] either be a designed historical landmark or be wholly or partially located within a designated historic district, and [2] either be a contributing property as defined by *Subsection B* or be located within 200-feet of a contributing property." In this case, the subject property meets all of the criteria for a property that would require a Certificate of Appropriateness (COA).

In reviewing the applicant's concept plan and conceptual building elevations against Section 07, *Building Standards*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC) the following guidelines apply:

(1) *Building Standards*.

- (a) *Height*. According to Section 07(A), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), "(a)ll new buildings and additions shall be constructed to a height and number of stories which are consistent and compatible with existing neighboring historic buildings or structures on the same block face." In this case, the proposed performance center will be 55-feet in total height or approximately 41-feet at the midpoint of the pitched roof, and the proposed practice building is approximately 29.50-feet in total height or approximately 24-feet at the midpoint of the pitched roof. In review of the surrounding properties, they are all one (1) story single-family homes with the exception of the two (2) story single-family home east -- across N. Clark Street -- of the subject property. The applicant has indicated that the increased height for the performance building is due to the nature of the use.
- (b) *Building Setback and Orientation*. According to Section 07(B), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), "(a)ll ... new infill construction should recognize and maintain the established historic home site orientation, and side and front side setbacks within the block face, thereby being visually compatible and maintaining the established rhythm and setback spacing." In addition, "(a) new commercial structure should not be oriented toward a residential block face." In this case, the proposed performance center is being brought closer to N. Clark Street, but faces internal to the site, and the practice building is pushed back from E. Kaufman Street, but faces the roadway.
- (c) *Building Facades and Materials*. According to Section 07(C), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), all proposed building materials shall be made of "the original exterior facade materials..."; however, "...complementary exterior materials may be used." The existing single-family home utilizes stone, and the existing *Theater* utilizes lap-siding, board and batten siding, and brick. In this case, the applicant is

proposing two (2) new buildings that will utilize lap siding, board and batten siding, masonry, and standing seam metal roofing.

- (d) Roofs. According to Section 07(D), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), “(r)ooof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District.” In addition, “(r)ooof materials/colors should be visually compatible and compliment the style and period of the structure.” In this case, the existing single-family home and *Theater* have both hip and gabled roofs with architectural shingles. The applicant is proposing to utilize only the hip roof design with standing seam metal roofing.
- (e) Fences. According to Section 07(H), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), “(a)ny fence that requires review must be architecturally compatible in height, materials, color, texture and design with the style and period of the main structure on the lot.” In this case, the applicant is proposing to utilize a six (6) foot cedar fence in lieu of a six (6) foot wrought iron fence -- *as required by the residential adjacency standards* -- between the subject property and the residential properties. The applicant has indicated that they believe it will better screen the new buildings and be more in kind with adjacent residential fences.
- (f) Parking. According to Section 07(K), of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), “(o)ff-street parking should be provided behind the front facade of the main structure on the property.” In this case the subject property is bounded on three (3) sides by a roadway. The proposed concept plan indicates the majority of the parking will be located behind the performance center, with one (1) additional row of parking being located between the performance center and E. Kaufman Street.

All this being said, the Certificate of Appropriateness (COA) for the proposed scope of work (*i.e. zoning change, demolition, and new construction*) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

## **NOTIFICATIONS**

On June 4, 2025, staff mailed 34 property owner notifications to all property owners and occupants within 200-feet of the subject property. At the time this case memo was prepared, staff had not received any notices returned regarding the applicant’s request.

## **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Occupancy (COA), staff would propose the following conditions of approval:

- (1) The applicant will be required to apply for a demolition permit through the Building Inspections Department; and,
- (2) The proposed *Theater* shall be required to generally conform to the *Concept Plan* and *Conceptual Building Elevations* contained within *Exhibit ‘B’* and *Exhibit ‘C’* of the Planned Development District Ordinance; and,
- (3) The proposed *Theater* shall be required to conform to the *PD Development Standards* contained within *Exhibit ‘D’* of the Planned Development District Ordinance; and,
- (4) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

CASE NUMBER: \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_

RECEIVED BY: \_\_\_\_\_

#### APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

#### SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

#### CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

#### CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 609 E Rusk Street

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT?  YES  NO

APPLICANT(S) IS/ARE:  OWNER  TENANT  NON-PROFIT  RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY: Architect

OWNER(S) NAME Darlene Singleton

APPLICANT(S) NAME Jonathan Brown, AIA

ADDRESS Rockwall Community Playhouse

ADDRESS JHP Architecture/Urban Design

609 E Rusk Street Rockwall, TX 75087

8340 Meadow Road, Dallas, TX 75231

PHONE 214-663-9820

PHONE 214-363-5687

E-MAIL dsingleton54@gmail.com

E-MAIL jbrown@jhparch.com

### SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:  EXTERIOR ALTERATION  NEW CONSTRUCTION  ADDITION  DEMOLITION  
 RELOCATIONS  OTHER, SPECIFY: \_\_\_\_\_

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE): \$ 5,000,000

**PROJECT DESCRIPTION.** IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

The Rockwall Community Playhouse is a nonprofit corporation run by community volunteers out of the old church building located at East Rusk and North Clark Streets. Now in their 30th season, the group has outgrown their current building and are applying to construct a new building to better suit the needs of the community. In doing so, they will provide more parking on site to help alleviate current parking issues. The new building will allow for them to better provide theater productions, youth programs, special needs programs, and summer programs.

### OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

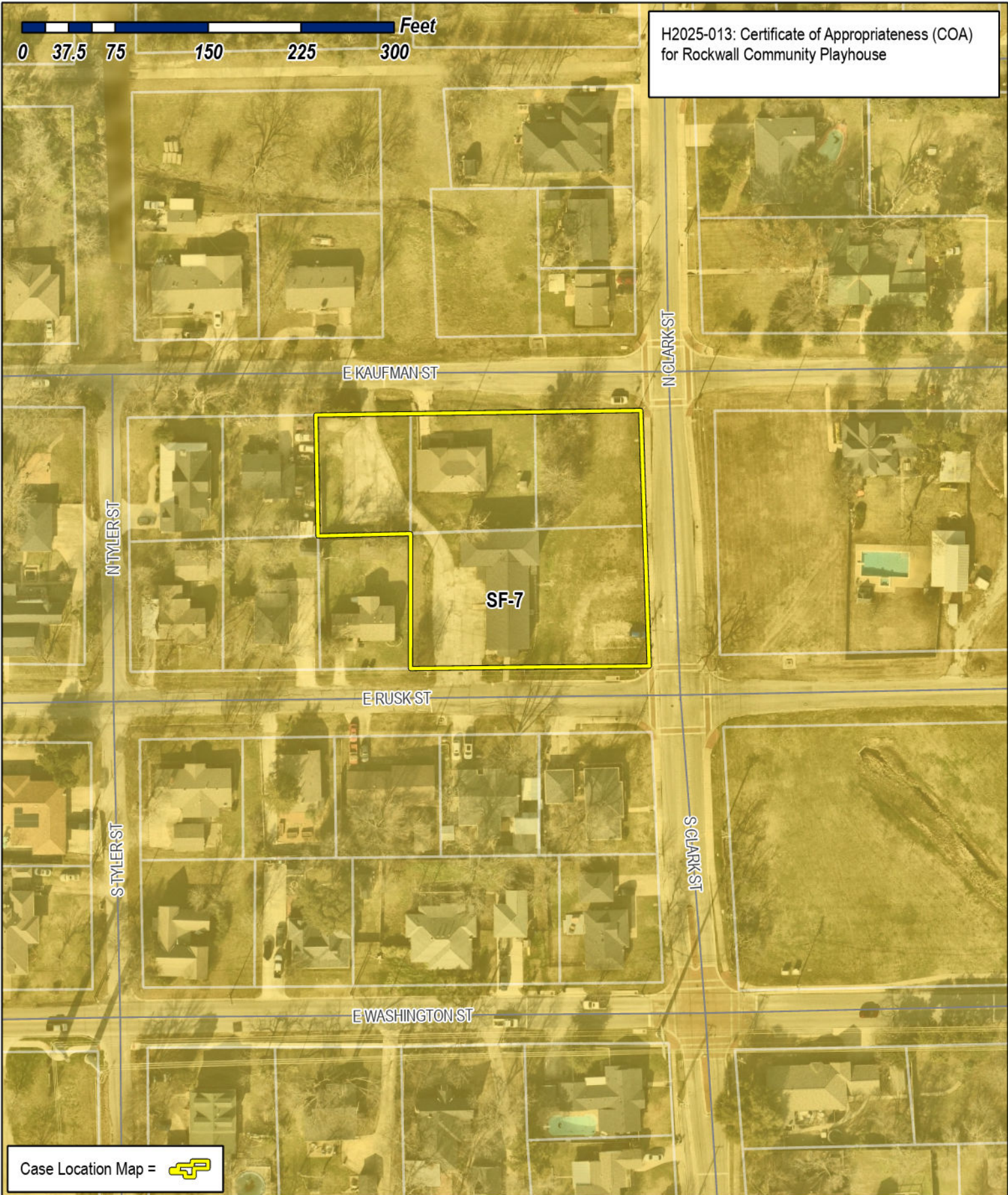
OWNER'S SIGNATURE *Darlene Singleton*

APPLICANT'S SIGNATURE *JB*





H2025-013: Certificate of Appropriateness (COA) for Rockwall Community Playhouse



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



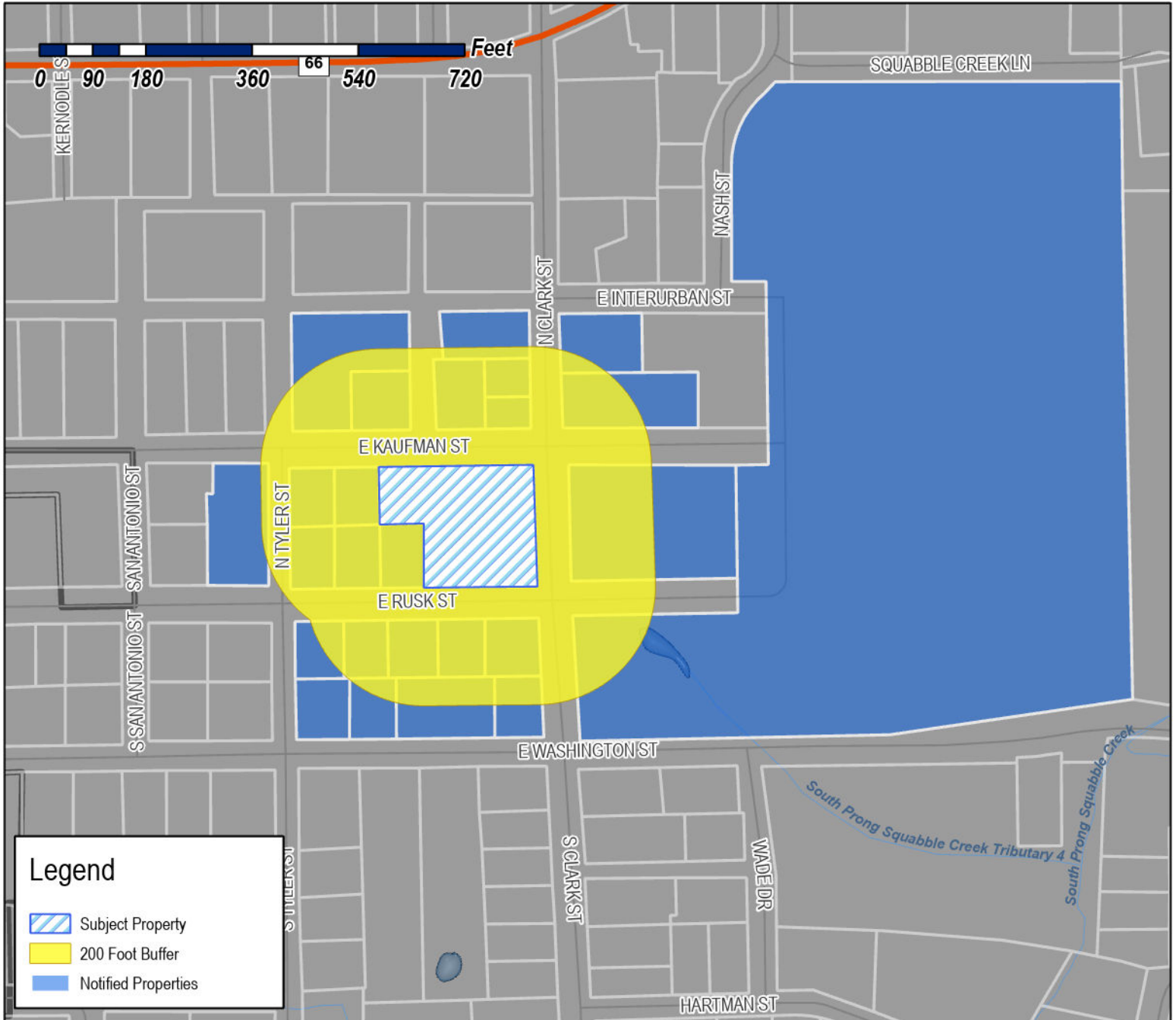




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



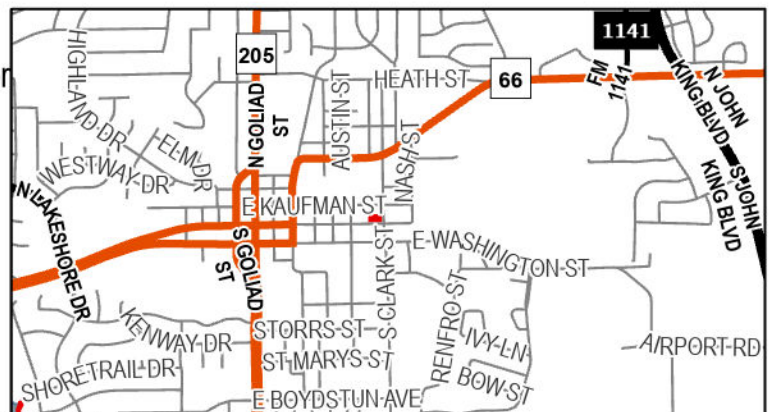
**Legend**

- Subject Property
- 200 Foot Buffer
- Notified Properties

**Case Number:** H2025-013  
**Case Name:** Certificate of Appropriateness (COA) for Rockwall Community Playhouse  
**Case Type:** Historic  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 609 E. Rusk Street & 606,610 and 612 Kaufman Street

**Date Saved:** 6/4/2025

For Questions on this Case Call: (972) 771-7745



QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
102 S CLARK ST  
ROCKWALL, TX 75087

GATES ROBERT V & CHRISTI C  
104 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
106 S CLARK ST  
ROCKWALL, TX 75087

HARPER LYDIA  
1200 CLEVELAND STREET APT 327  
DENTON, TX 76201

SMILEY KAREN APRIL  
INDEPENDENT ADMINISTRATOR - ESTATE OF  
ROBERT THOMAS WIKTORCH  
1319 Nevarc Rd  
Warminster, PA 18974

WIMPEE JOE AND  
BEAU WIMPEE  
1800 DALTON RD  
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 9 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
201 N CLARK ST  
ROCKWALL, TX 75087

RAGSDALE DONALD K & FRANCES  
202 N CLARK ST  
ROCKWALL, TX 75087

EDWARDS MORGAN BROOKE  
203 N Clark St  
Rockwall, TX 75087

CAWTHON RICK AND PAULETTE DENISE  
205 N CLARK ST  
ROCKWALL, TX 75087

MCDONALD ROBERT G & MICHELLE A  
206 N CLARK ST  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

GLASS JERRY  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
601 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
601 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
601 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
602 E RUSK  
ROCKWALL, TX 75087

WALKER KELLI & JESSICA  
603 E RUSK ST  
ROCKWALL, TX 75087

GALVAN CARMAN  
604 E KAUFMAN ST  
ROCKWALL, TX 75087

HORNER ANDREA J  
604 E. RUSK ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
605 E RUSK  
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE  
605 E WASHINGTON STREET  
ROCKWALL, TX 75087

WILLIAMS JERRY LANE  
608 E RUSK ST  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 EAST WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
610 E KAUFMAN  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
801 E WASHINGTON  
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L Townsend Dr Ste 100  
Rockwall, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Historic Preservation Advisory Board will consider the following application:

**Case No. H2025-013: Certificate of Appropriateness (COA) for Rockwall Community Playhouse**

*Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture and Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a Certificate of Appropriateness (COA) for [1] the demolition of two (2) Medium Contributing Structures, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) Medium-Contributing Properties, one (1) Low Contributing Property, and two (2) Non-Contributing Properties being a 0.805-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Historic Preservation Advisory Board will hold a public hearing on Thursday, June 19, 2025 at 6:00 PM. This hearing will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Thursday, June 19, 2025 at 4:00 PM to ensure they are included in the information provided to the Historic Preservation Advisory Board.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

----- PLEASE RETURN THE BELOW FORM -----

**Case No.H2025-013: Certificate of Appropriateness (COA) for Rockwall Community Playhouse**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

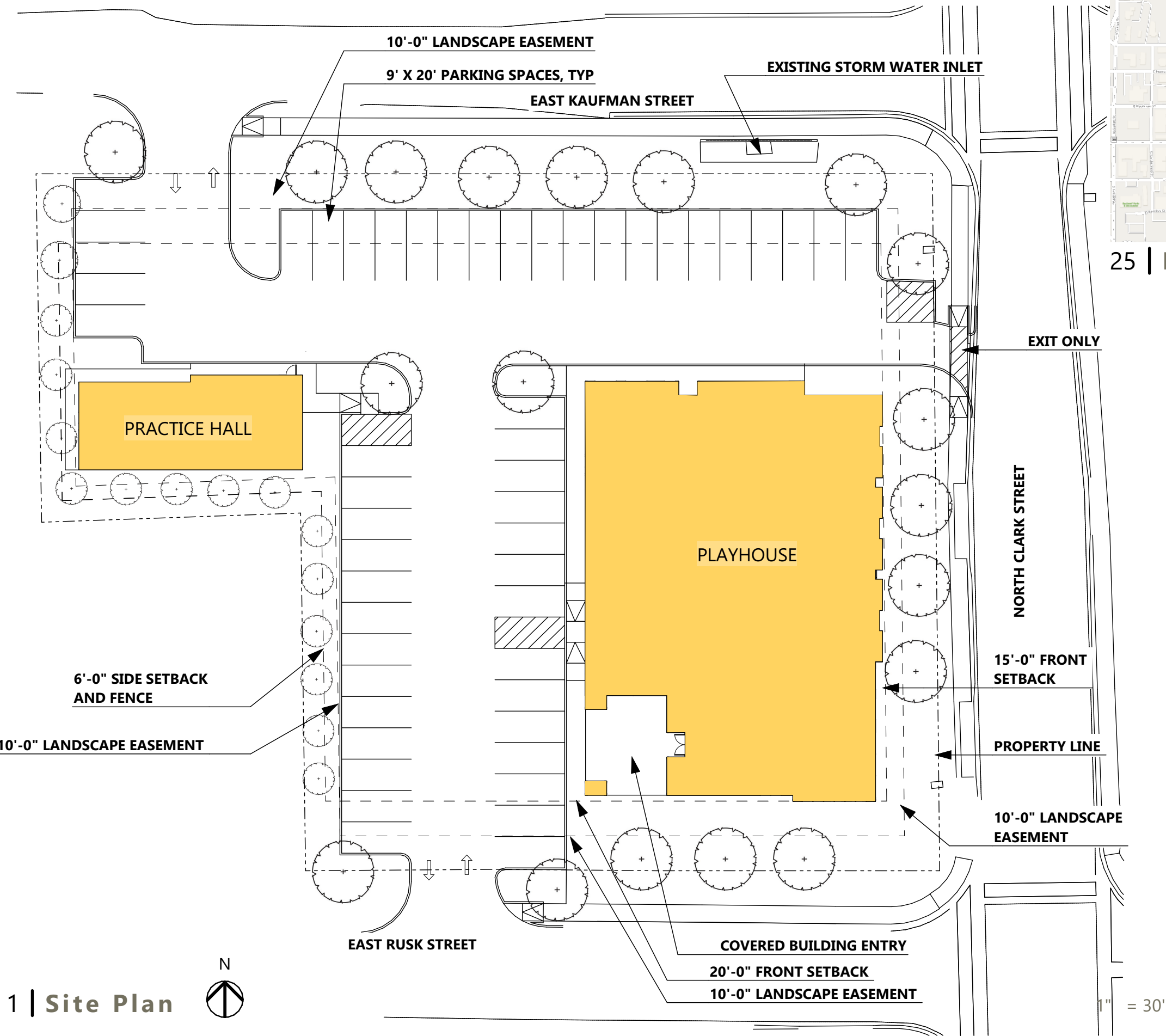
I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

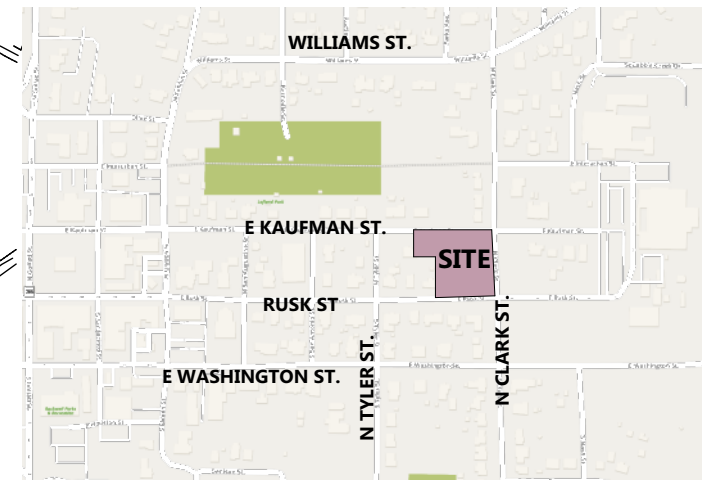
Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.





1 | Site Plan



25 | Location Map

SITE PLAN NOTES AND LEGEND	
---	SETBACK LINE
----	PROPERTY LINE
PROJECT DATA	
SITE:	0.805 AC (35,065.8 SF)
CURRENT LAND USE:	84 SEAT COMMUNITY THEATER
PROPOSED LAND USE:	160 SEAT COMMUNITY THEATER
THEATER:	9,700 SF
PRACTICE HALL:	2,000 SF
TOTAL:	11,700 SF
PARKING PROVIDED:	52 SPACES



**Rockwall Community Playhouse**

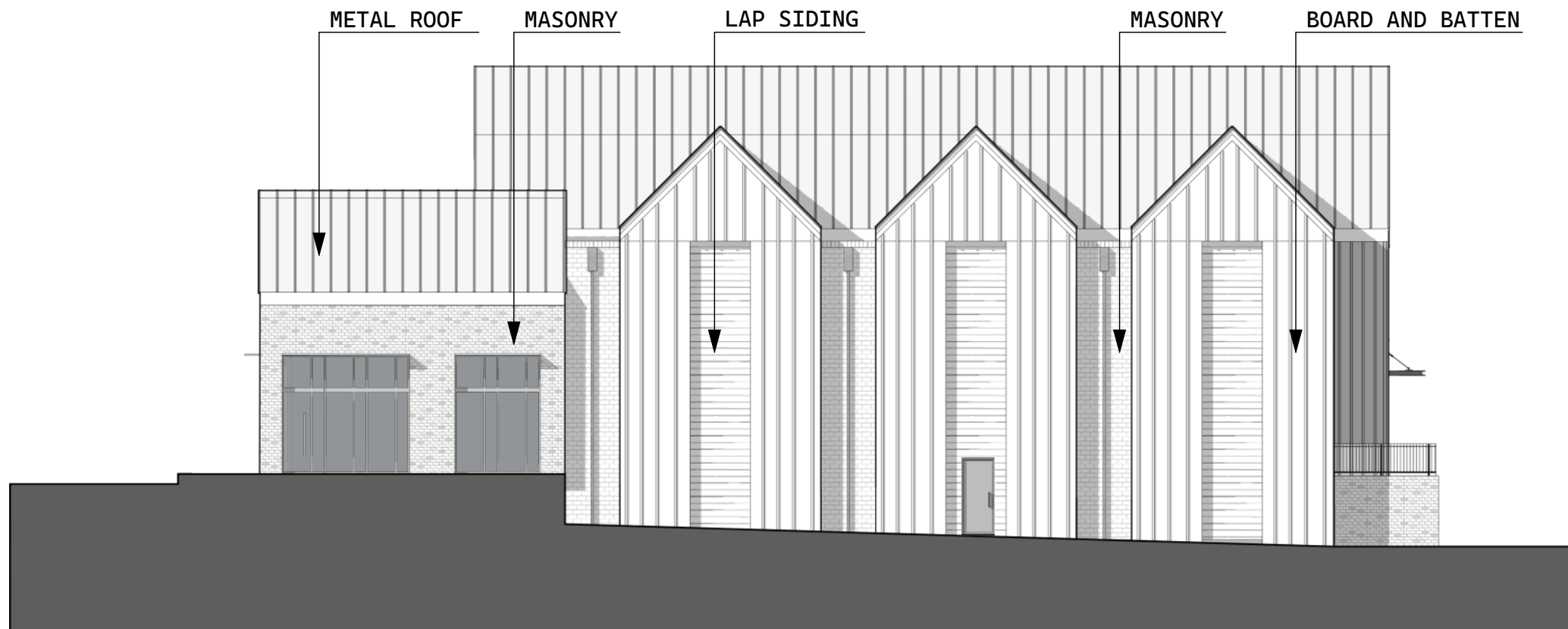
Rockwall, Texas

SITE PLAN

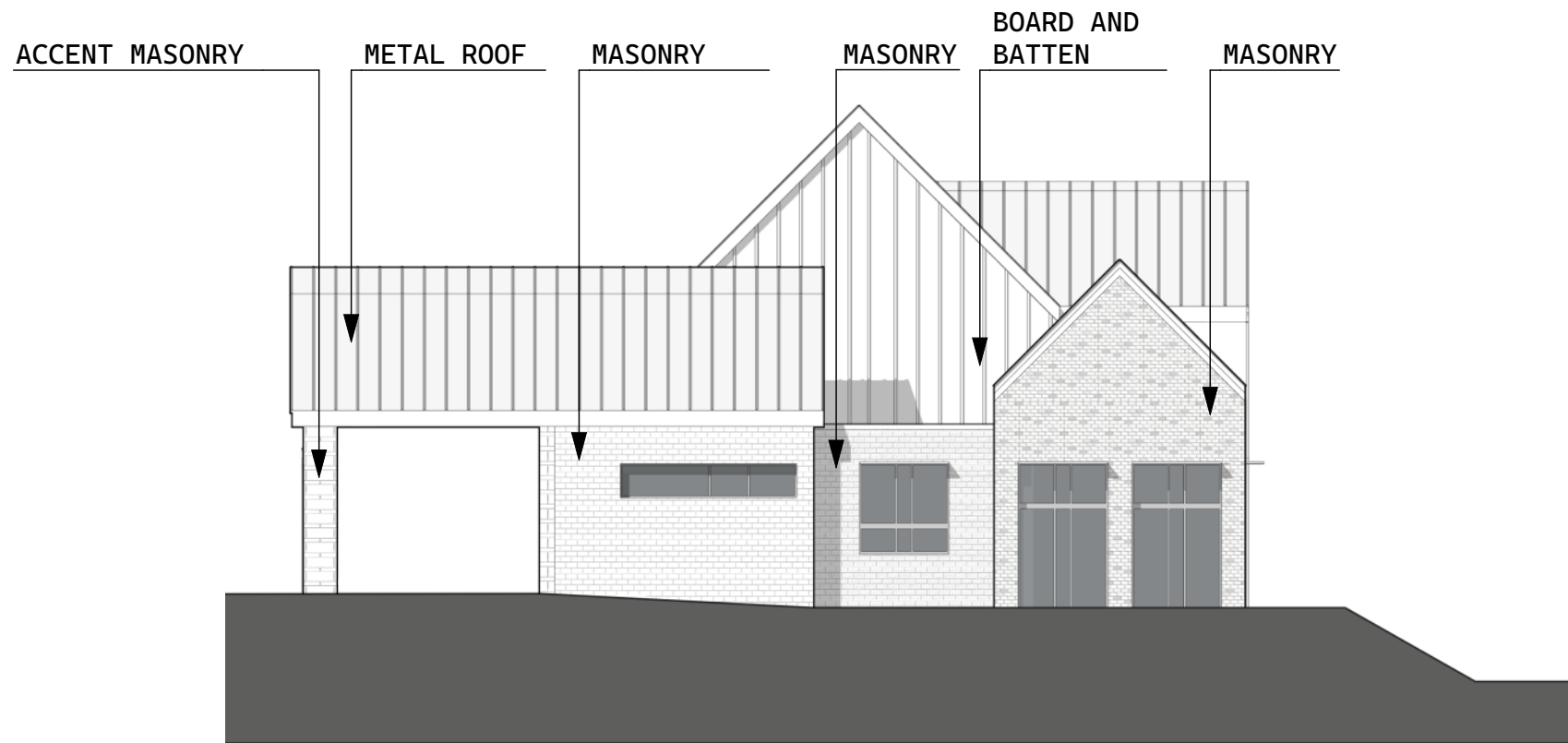
Copyright © JHP 2025. Not for  
Regulatory Approval, Permit or  
Construction. Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

#2019009 thaole

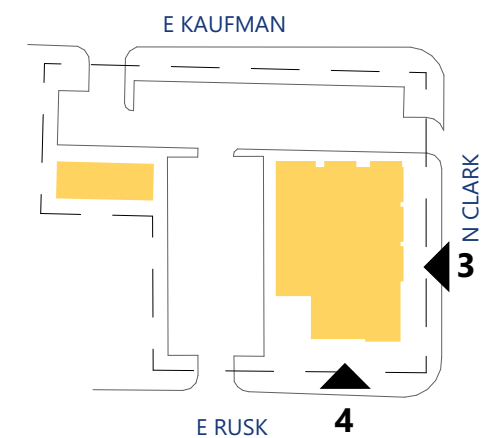




**3** THEATER - EAST ELEVATION  
Scale: 1/16" = 1'-0"



**4** THEATER - SOUTH ELEVATION  
Scale: 1/16" = 1'-0"



**2** Key Plan  
NOT TO SCALE





## Rockwall Community Playhouse

Rockwall, Texas

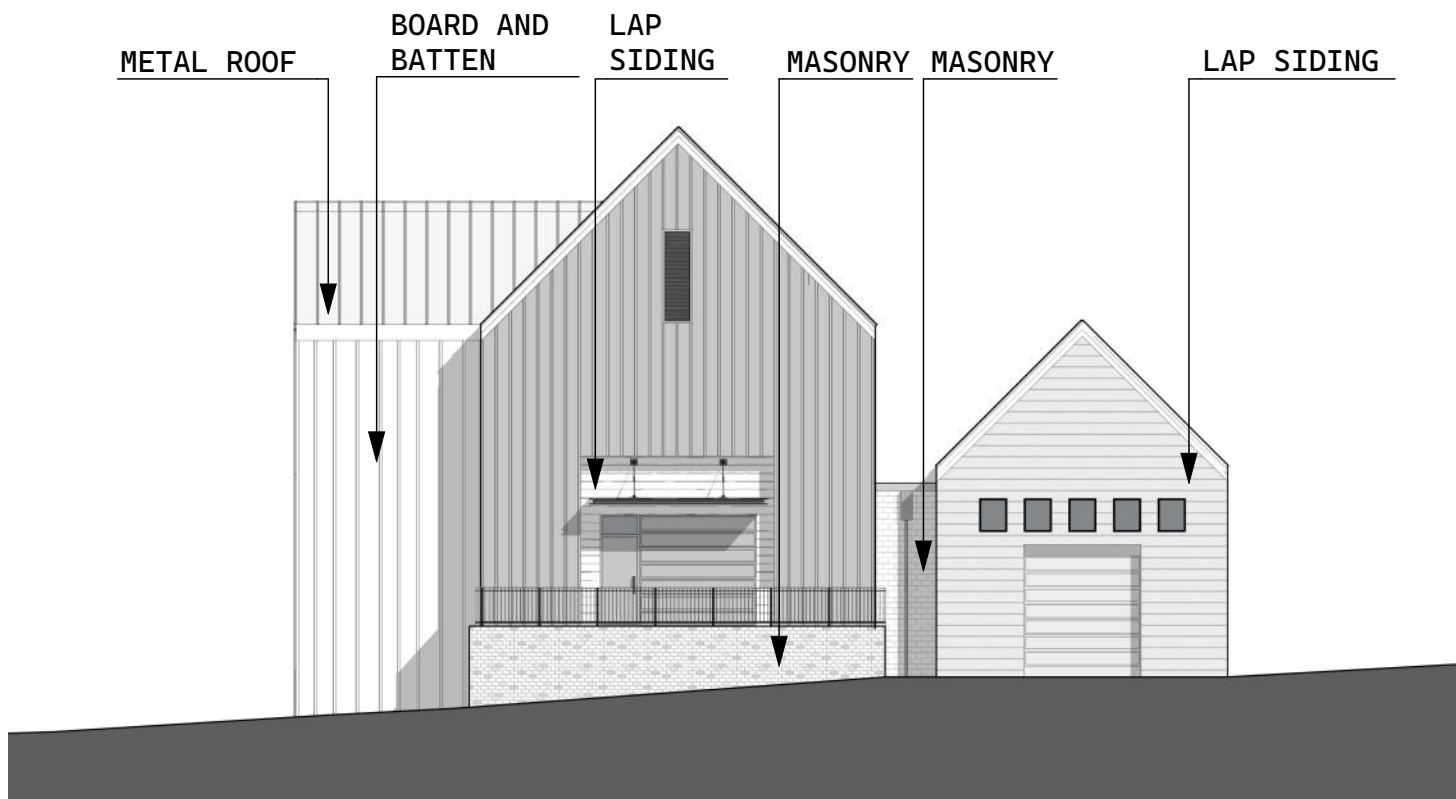
### PLAYHOUSE ELEVATIONS

Copyright © JHP 2025. Not for  
Regulatory Approval, Permit or  
Construction; Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

#2019009 thaole

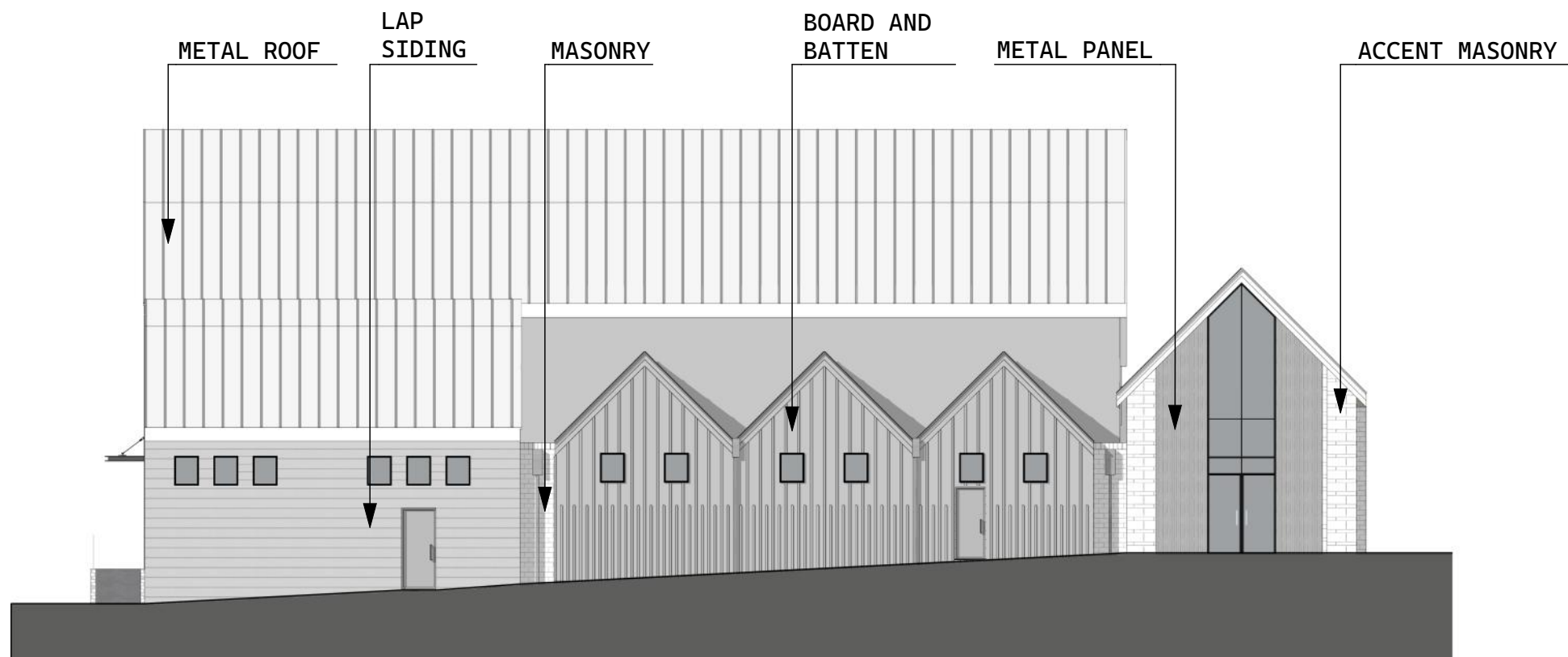


6/2/2025



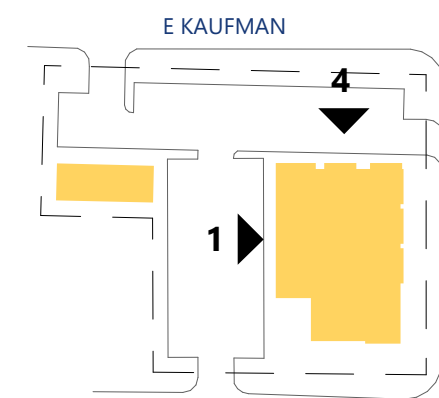
**4** THEATER - NORTH ELEVATION

Scale: 1/16" = 1'-0"



**1** THEATER - WEST ELEVATION

Scale: 1/16" = 1'-0"

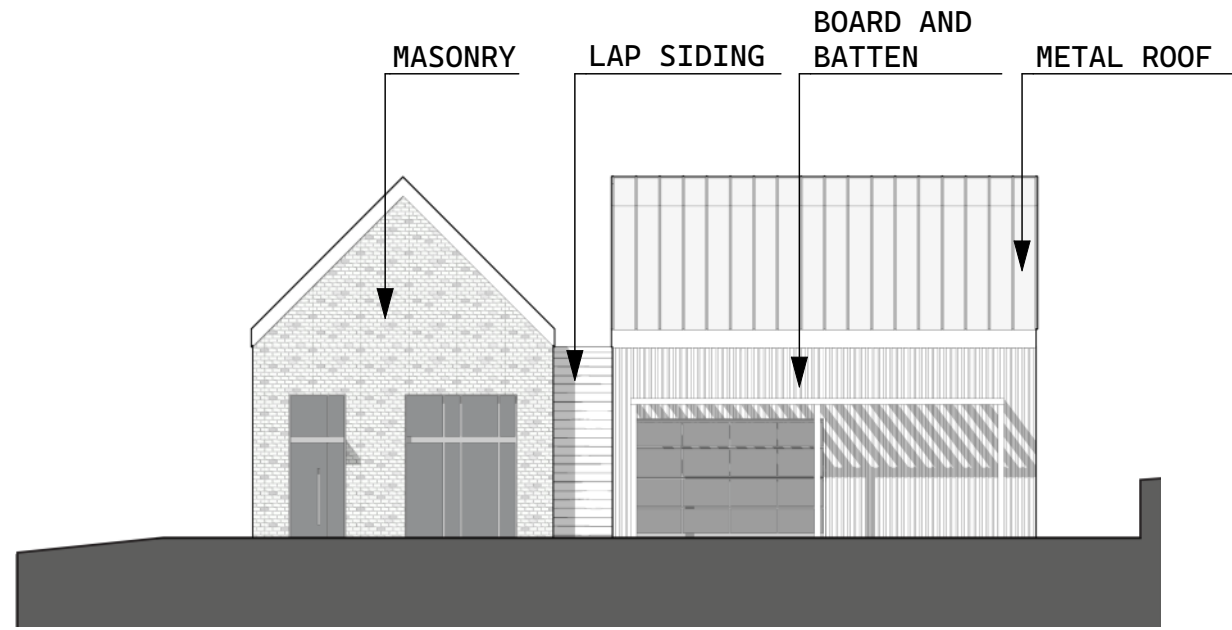


**3**

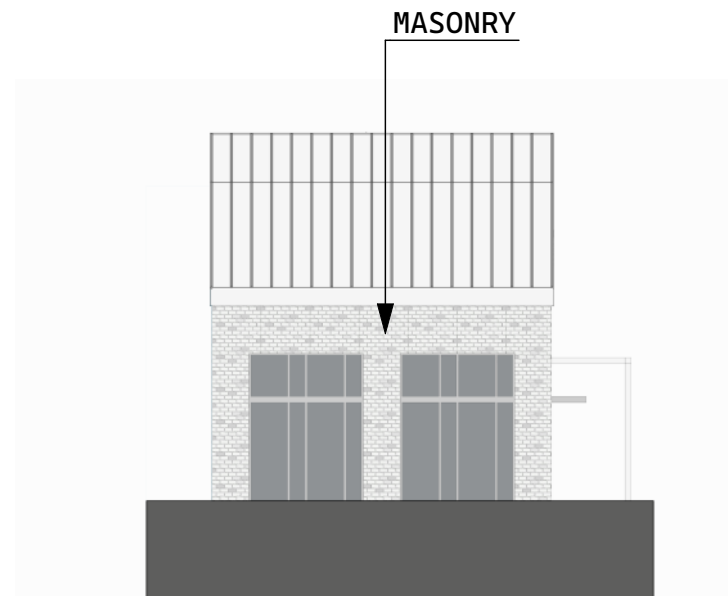
Key Plan  
NOT TO SCALE



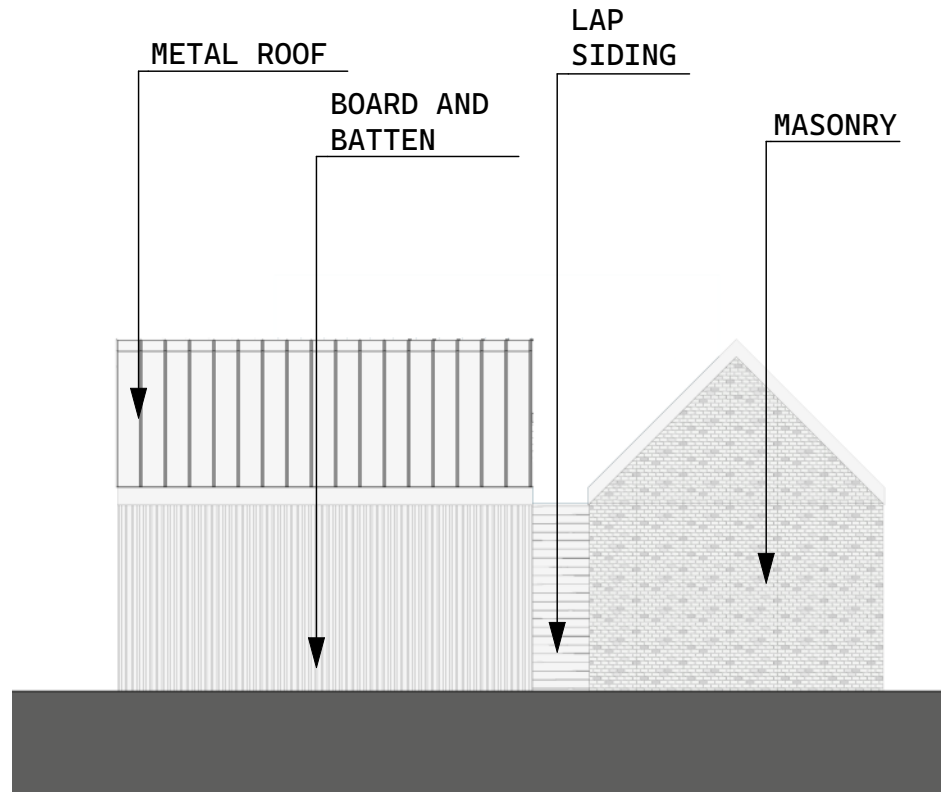
6/2/2025



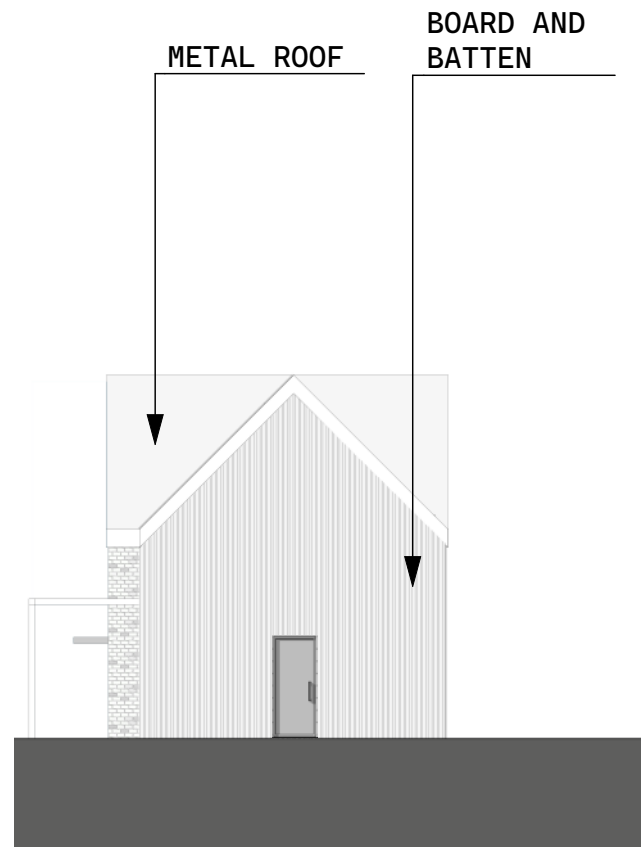
**2** | PRACTICE HALL - NORTH ELEVATION  
Scale: 1/16" = 1'-0"



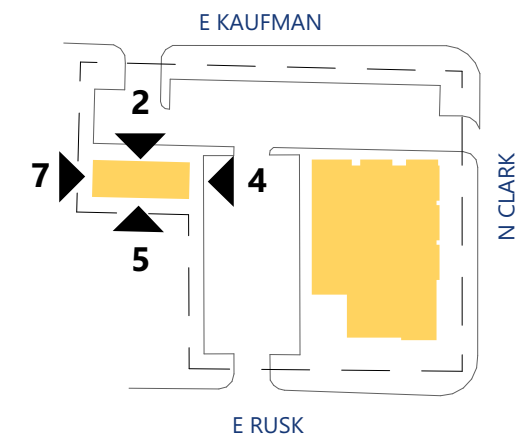
**4** | PRACTICE HALL - EAST ELEVATION  
Scale: 1/16" = 1'-0"



**5** | PRACTICE HALL SOUTH ELEVATION  
Scale: 1/16" = 1'-0"



**7** | PRACTICE HALL - WEST ELEVATION  
Scale: 1/16" = 1'-0"



**1** | Key Plan  
NOT TO SCALE

**Rockwall Community Playhouse  
PD Ordinance Development Standards - DRAFT**

<b>Standards</b>	<b>Downtown District (DT) Code (Base Zoning)</b>	<b>Proposed with Planned Development (PD)</b>
<b>Setbacks &amp; Lot Standards</b>		
Front yard along E Kaufman	18 FT	20 FT
Front yard along E Clark	18 FT	15 FT
Front yard along E Rusk	20 FT	Compliant
Side Yard (adjacent to residential)	20 FT	10 FT
Build to (setback) measured from:	Street back of curb	Street right of way
Perimeter landscape buffer adjacent to public right-of-way	10 FT	Compliant
Perimeter landscape buffer adjacent to residential	20 FT	10 FT
Residential Proximity Slope	NA	None required
Minimum Lot Area	NA	NA
Minimum Lot Width	NA	NA
Minimum Lot Depth	NA	NA
Minimum Block Length	200 FT	Compliant
Maximum Block Length	600 FT	Compliant
Pedestrian walkway width	10-FT	4-FT
<b>Building Height &amp; Architectural Standards</b>		
Max Building Height	2 stories	1 story; max 55 FT height
Min Building Height	2 stories	1 story
Requirement of tri-partite architecture?	Yes	No
Minimum window reveal	4"	No reveal required
Minimum inset requirement of primary entry from front building plane	5 FT	0 FT
Minimum spacing of functioning entries	30-FT	No minimum requirement
Can architectural elements of the primary building façade encroach beyond the build-to (setback) line?	Yes; 5-FT encroachment allowed with minor waiver	Yes; 15-FT encroachment (including doors, doors, flatwork) allowed without minor waiver
Min. façade requirements for ground floor exterior walls	100% brick, natural or cast stone	Min. 10% masonry; unlimited lap siding and board and batten; 20% max on all other materials (metal panel, etc.)
Overall Min. façade requirements for exterior walls facing street right-of-way	85% brick, natural or cast stone (excluding windows, doors, and other openings)	Min. 10% masonry; unlimited lap siding and board and batten; 20% max on all other materials (metal panel, etc.)
Windows and glazing	Minimum 30% and maximum 70% of each building elevation	No minimum (NA; theatre use)
Building color requirements	Dominant color of all buildings shall be muted shades of warm gray, red, green, beige and/or brown	Color requirements shall be approved at staff level during site plan process
Roof color requirements	Shall be a shade of cool gray, warm gray, brown or red	Color requirements shall be approved at staff level during site plan process
Non-residential at grade	Ground floor entry must be located at the approx. elevation of adjacent sidewalk	This shall only apply to main entry at west building face
<b>Landscape Requirements</b>		
Street Trees	Planted 20 FT on center	Compliant
Min. parking lot screening height	3 FT	Compliant
Min. parking lot screening opacity	80%	Compliant
Allowed parking lot screening materials	Evergreen plant materials	Compliant
Min. frequency of landscape islands	Every 10 parking spaces	No parking lot landscape islands required
Fencing requirements adjacent to residential	Masonry fence a minimum of 6 FT in height with canopy trees planted on 20-FT centers	Min 6 FT height board on board wood fencing
Retaining walls permitting within landscape buffer?	-	Yes
<b>Parking &amp; Access</b>		
Min. offstreet parking required for theatre	1 space per 3 seats	1 space per 3.5 seats
Min. bicycle parking	1 space per 10 automobile parking spaces	Parking requirements to be approved at staff level during site plan process
Min. driveway spacing	200 FT	Right turn exit only onto Clark Street shall be permitted
<b>Lighting, Mechanical &amp; Refuse</b>		
Photometric requirements	-	Photometrics shall be approved at staff level during site plan process
Required fixture	-	Fixtures to be approved at staff level during site plan process
Refuse requirements	-	No onsite commercial dumpster will be required. Residential trash bins shall be permitted.
LED lighting permitted	No	Yes
<b>Permitting Process</b>		
Downtown development plan required for building permit?	Yes	No





407 Clark



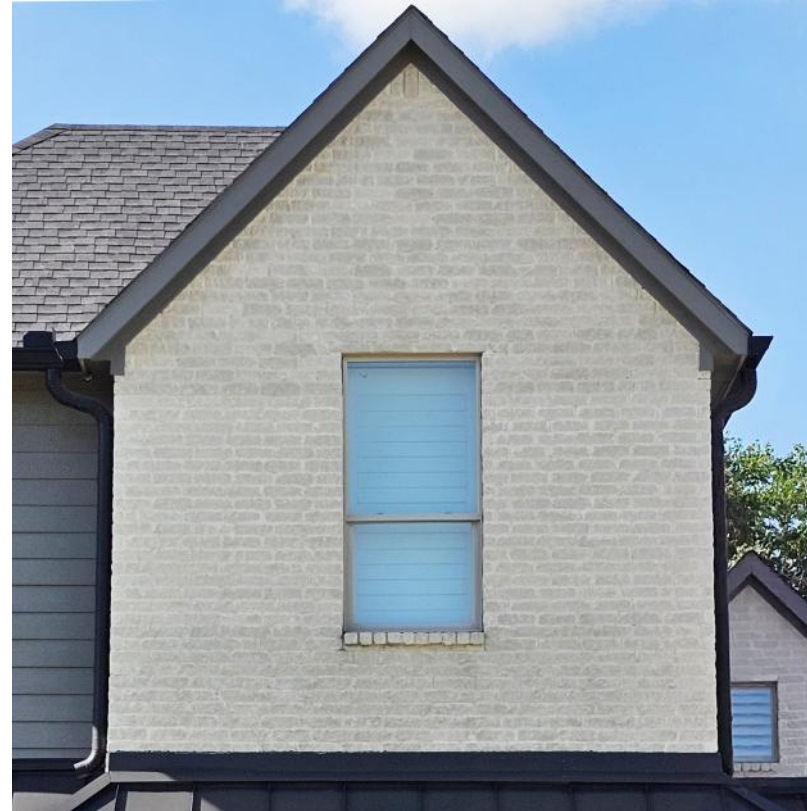
501 Clark



503 Clark



511 Clark



621 E Boydston



627 E Boydston

**JHP**  
Architecture / Urban Design

A FIRM WITH A  
VIBRANT & EXCITING  
CULTURE RECOGNIZED  
FOR ELEVATED DESIGN



**Rockwall Community Playhouse**

Rockwall, Texas

**LOCAL  
NEIGHBORHOOD  
CONTEXT IMAGES**

Copyright © JHP 2025. Not for  
Regulatory Approval, Permit or  
Construction. Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

#2019009 thaole



6/2/2025





972-722-3399  
FINDING NEMO JR  
JUNE 18-29  
STAR PLAYERS JULY 18-19  
FOOTLOOSE  
JULY 25 - AUG 3

609

RESERVED FOR  
PATRON PARKING





609

972-722-3399  
"THE RCP STAR PLAYERS"  
HIGH SCHOOL MUSICAL  
AUGUST 18 - 7:30PM  
& 19 - 2:00PM  
9 TO 5 NEXT EVENT





Rockwall  
Community  
Playhouse  
972-721-3399

972-721-3399  
NONCRACKERS  
NOVEMBER 26 -  
DECEMBER 12  
APPROV OCT 20 7 PM

609

NOV 11 2004







SCHOOL  
SPEED  
LIMIT  
**20**  
7:30 AM - 8:15 AM  
2:45 PM - 3:30 PM

NOV 11 2004





NOV 11 2004





610

FOR SALE  
BY OWNER  
CALL 502-333-1111  
OR VISIT US AT  
WWW.LUXURYHOMES.COM

JUL 12 2004





8110

Call for more info  
at 200-200-2000  
or 200-200-2000

JUL 12 2004

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A SINGLE FAMILY 7 (SF-7) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD - XX) FOR SINGLE- FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 1.0061-ACRE TRACT OF LAND IDENTIFIED AS PORTION OF LOT 120D AND ALL OF LOTS 120C & 120G OF THE B. F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jonathan Brown on behalf of Darlene Singleton, requesting the approval of a zoning change from a Single Family 7 (SF-7) District to a Planned Development District for Single Family 7 (SF-7) District land uses being a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 5.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 20-02*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 20-02*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF AUGUST, 2025.**

---

Tim McCallum, *Mayor*

**ATTEST:**

---

Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: July 21, 2025

2<sup>nd</sup> Reading: August 4, 2025

DRAFT  
ORDINANCE  
06.19.2025

**EXHIBIT 'A':**  
*Legal Description and Survey*

**BEING** 1.04 acres of land situated in Abstract 14, B.F. Boydston Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** in the Northwest corner of North Clark Street and East Rusk Street, RCAD#14333, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,596,018.343, N 7,027,794.521 Feet);

**THENCE** South 88°46'33" West, along the Northern Right of Way of East Rusk Street, a distance of 189.985 feet for a corner;

**THENCE** North 01°14'22" West, a distance of 105.104 feet for a corner;

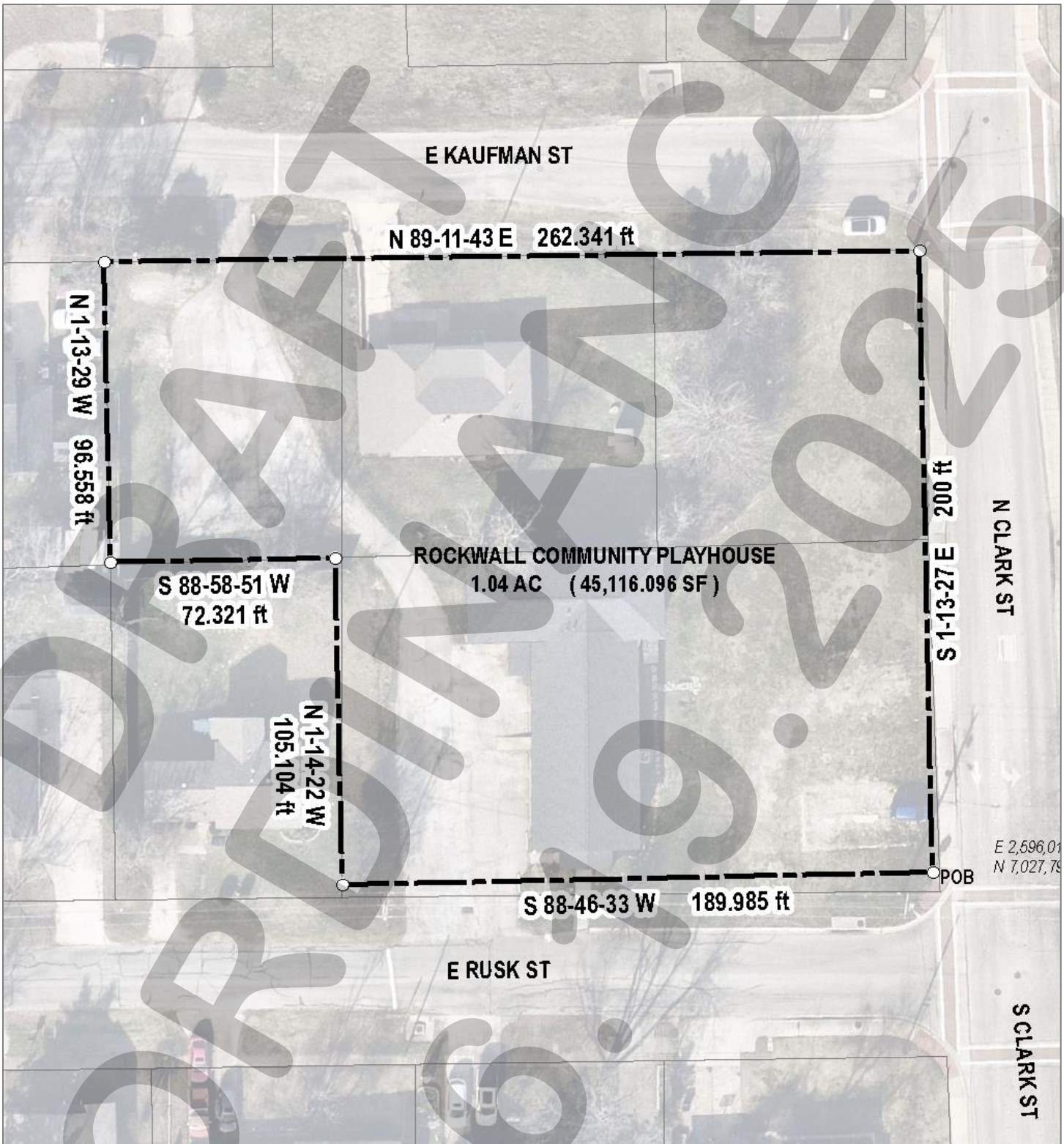
**THENCE** South 88°58'51" West, a distance of 72.321 feet for a corner;

**THENCE** North 01°13'29" West, a distance of 96.558 feet for a corner;

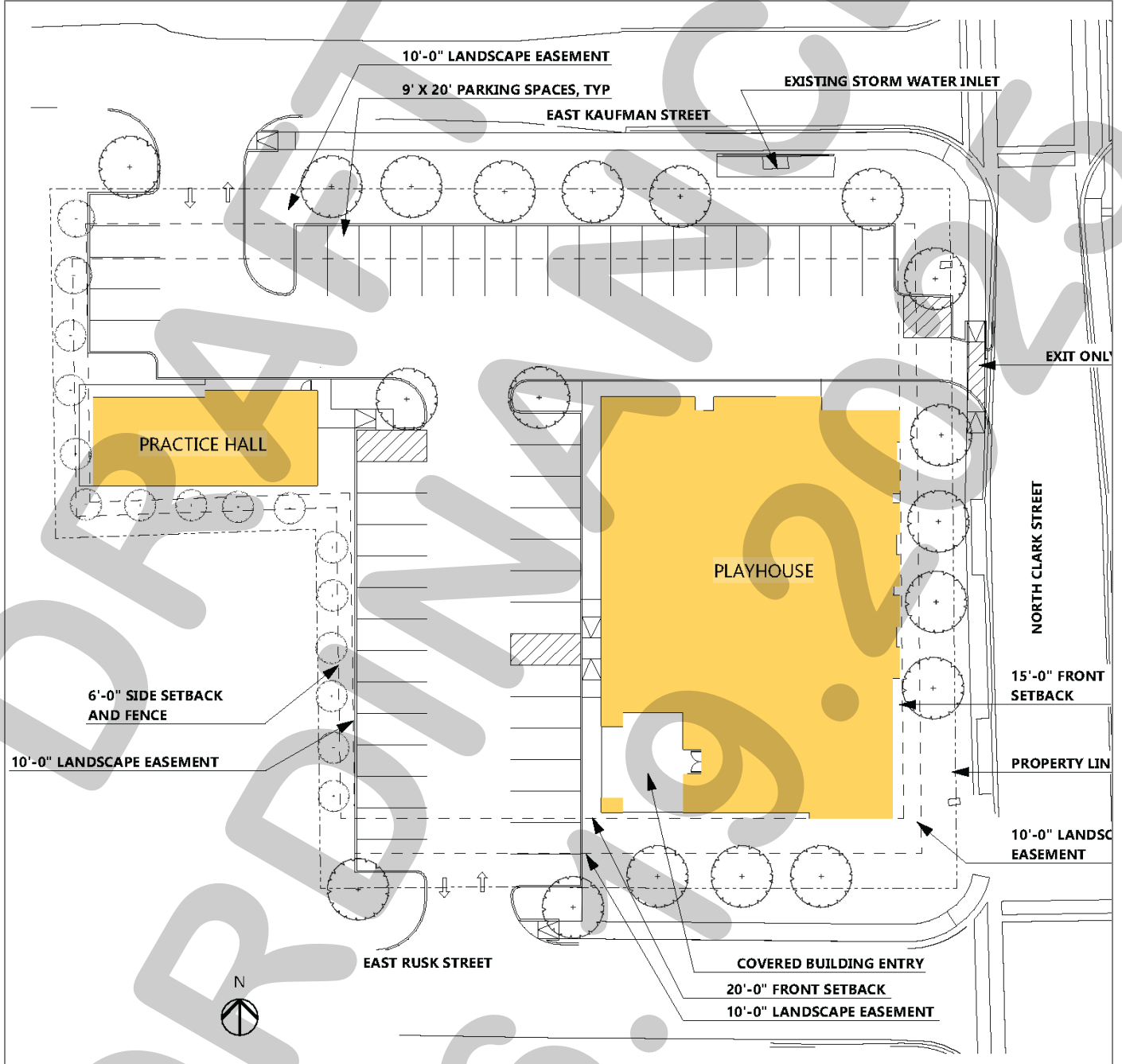
**THENCE** North 89°11'43" East, along the Southern Right of Way of East Kaufman Street, a distance of 262.341 feet for a corner;

**THENCE** South 01°13'27" East, along the Western Right of Way of North Clark Street, a distance of 200.00 feet to the **POINT OF BEGINNING AND CONTAINING** 1.04 acres of land (45,116.096 square feet) more or less.

**EXHIBIT 'A':**  
Legal Description and Survey

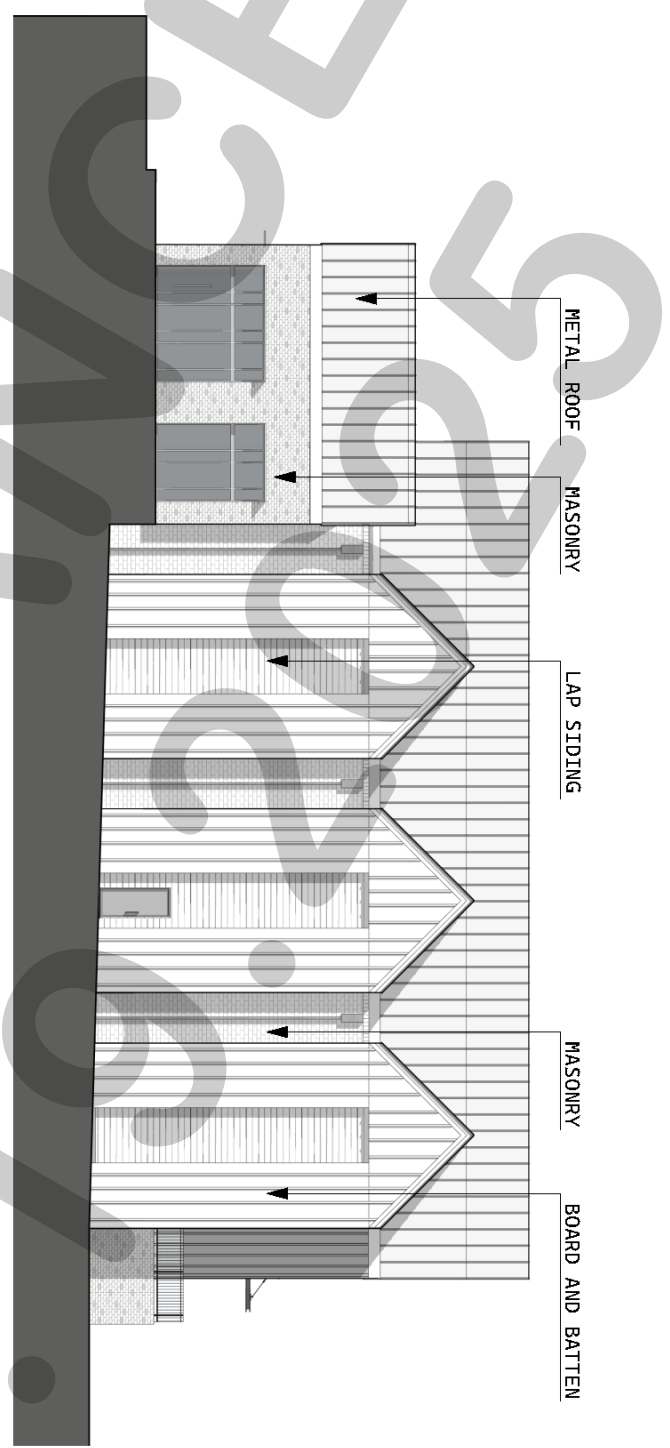


**EXHIBIT 'B':**  
Concept Plan

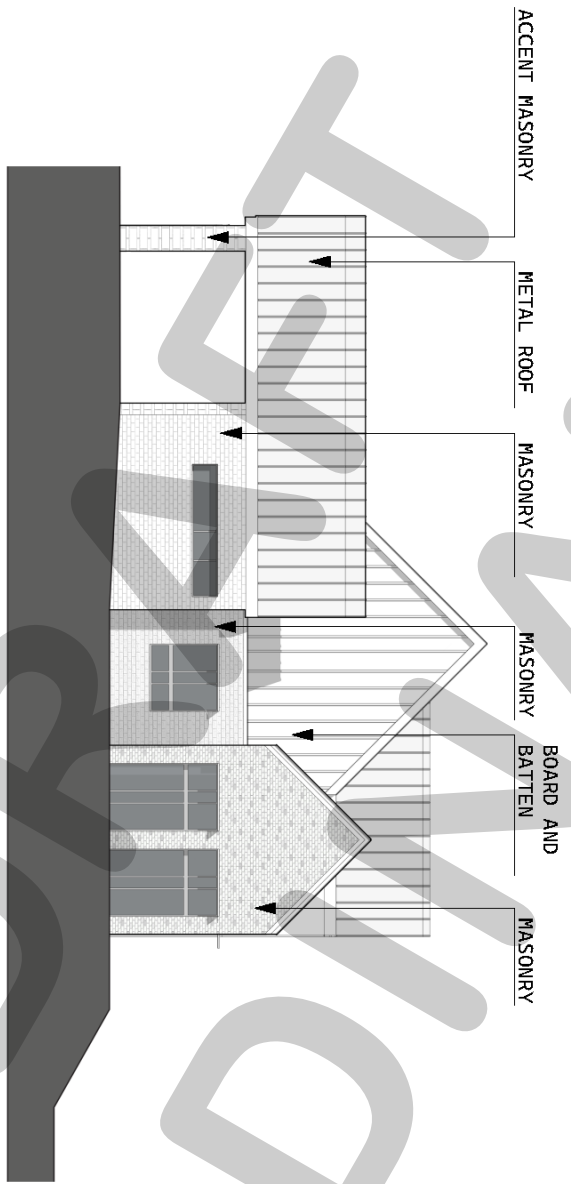




**EXHIBIT 'C':**  
Conceptual Building Elevations

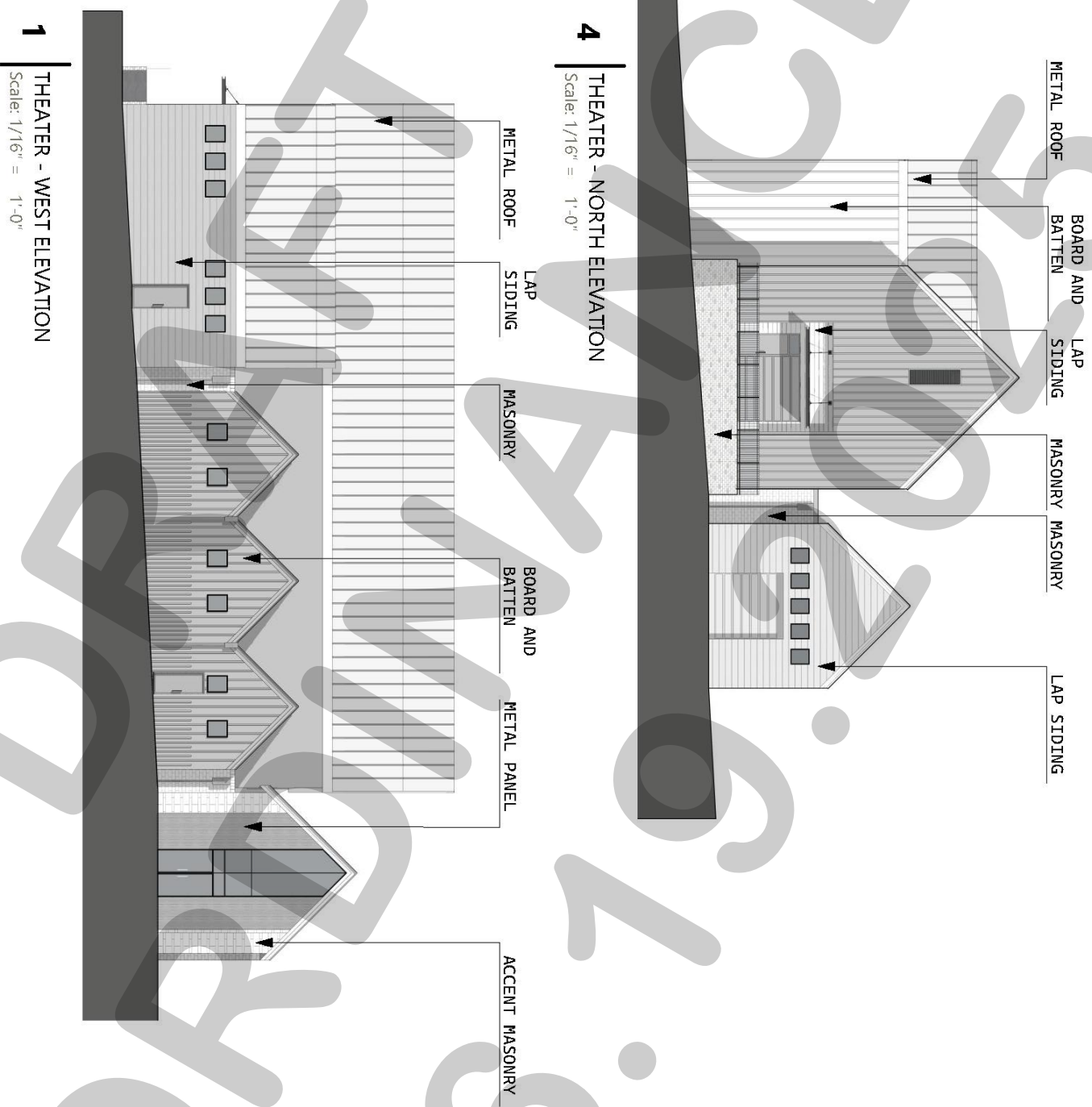


**3** THEATER - EAST ELEVATION  
Scale: 1/16" = 1'-0"



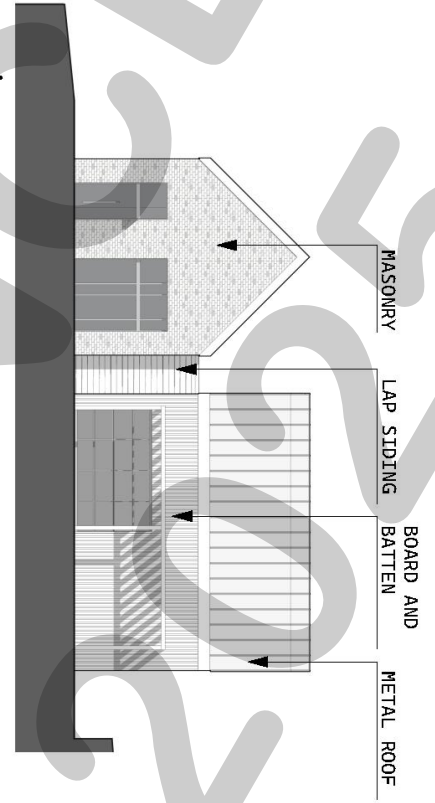
**4** THEATER - SOUTH ELEVATION  
Scale: 1/16" = 1'-0"

**EXHIBIT 'C':**  
Conceptual Building Elevations

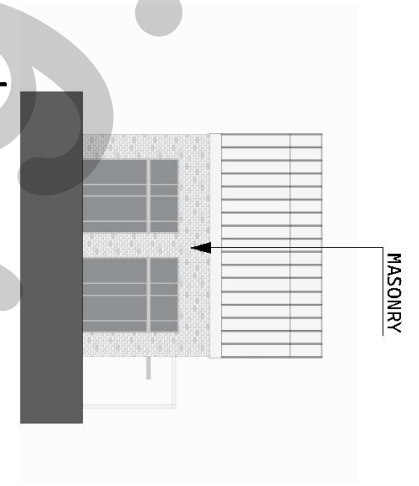


**EXHIBIT 'C':**  
*Conceptual Building Elevations*

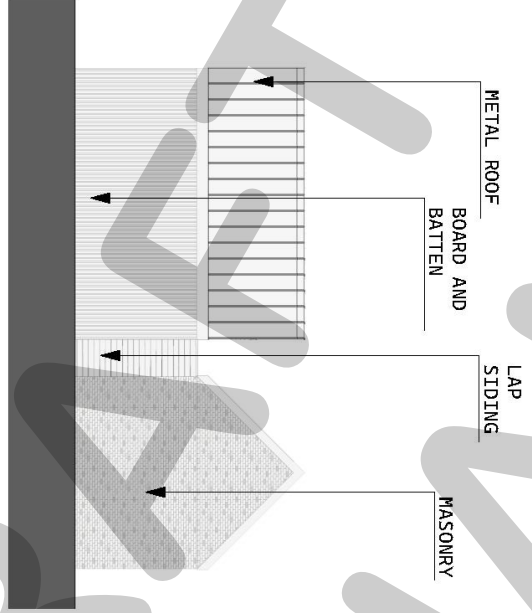
**2** PRACTICE HALL - NORTH ELEVATION  
 Scale: 1/16" = 1'-0"



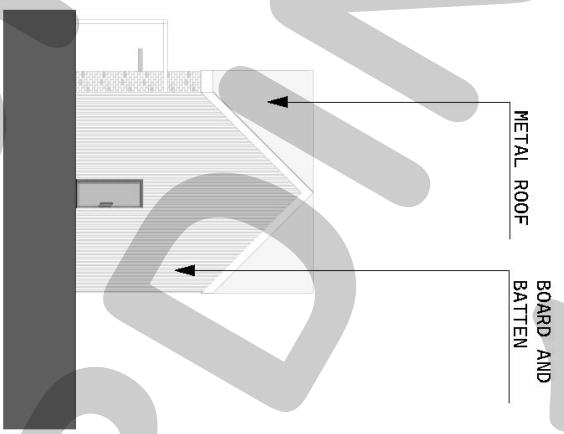
**4** PRACTICE HALL - EAST ELEVATION  
 Scale: 1/16" = 1'-0"



**5** PRACTICE HALL SOUTH ELEVATION  
 Scale: 1/16" = 1'-0"



**7** PRACTICE HALL - WEST ELEVATION  
 Scale: 1/16" = 1'-0"



**EXHIBIT 'D':**  
PD Development Standards

**Density and Development Standards.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District, only those land uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, are allowed on the *Subject Property*; however, the following additional land uses shall be permitted on the *Subject Property*:

The following land uses shall be permitted *by-right* on the Subject Property:

- Theater<sup>1</sup>

**NOTE:**

<sup>1</sup>: Theater. A *Theater*, shall be defined as a *Community Theater*, whereas a *Community Theater* is a locally organized performing arts organization that produces theatrical productions primarily for the enjoyment, participation, and cultural enrichment of the local community.

- (2) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. All development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

**TABLE 1: DENISTY AND DIMENSIONAL REQUIREMENTS**

<b>ORDINANCE PROVISIONS</b>	<b>ZONING DISTRICT STANDARDS</b>
MINIMUM LOT AREA	7,000 SF
MINIMUM LOT FRONTAGE	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	X=20' E. KAUFMAN STREET X=15' N. CLARK STREET X=20' E. RUSK STREET
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK	10'
SIDE YARD ADJACENT TO RESIDENTIAL	10'
MAXIMUM BUILDING HEIGHT	55'
MAX BUILDING/LOT COVERAGE	45%
MINIMUM NUMBER OF PARKING SPACES	1 PER 3.20 SEATS

- (3) Residential Adjacency. The *Subject Property* shall be required to provide and maintain a ten (10) foot landscape buffer adjacent to any residentially zoned or used property. The buffer shall include a minimum of a six (6) foot or a maximum of eight (8) foot standard cedar fence, canopy trees on 20-foot centers, and a row of evergreen shrubs along the entire adjacency.
- (4) Landscape Standards. Landscaping shall be reviewed and approved with the Site Plan. All *Canopy/Shade Trees* planted within this Planned Development District shall be a minimum of four (4) caliper inches in size, all *Accent/Ornamental/Under-Story Trees* shall be a minimum

**EXHIBIT 'D':**  
*PD Development Standards*

of four (4) feet in total height, all *Shrubs* shall be a minimum of five (5) gallons at the time of planting.

- (1) *Landscape Buffer (E. Kaufman Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along E. Kaufman Street, and shall incorporate a row of evergreen shrubs along the entire frontage.
- (2) *Landscape Buffer (N. Clark Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along N. Clark Street, and shall incorporate one (1) accent tree per 50-feet of linear frontage and a row of evergreen shrubs along the entire frontage.
- (3) *Landscape Buffer (E. Rusk Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along N. Clark Street, and shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage, and a row of evergreen shrubs along the entire frontage.